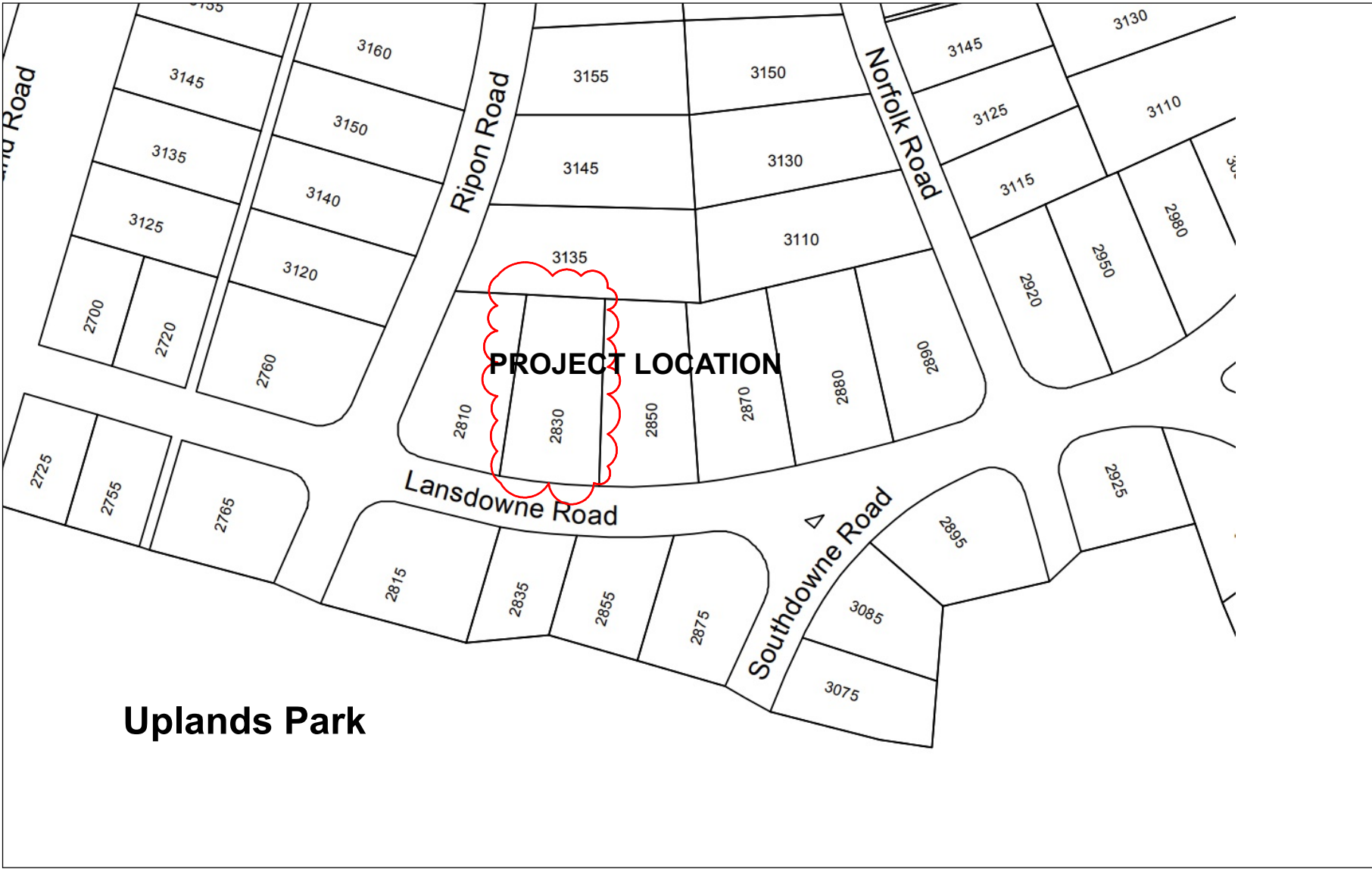




SOUTH ELEVATION



NORTH ELEVATION



PROJECT LOCATION PLAN  
No Scale

PROPOSED:  
2830 LANDSDOWNE ROAD 3D  
RENDERING

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1.	2022-08-26	ISSUED FOR PERMIT APPLICATION
NO.	DATE	

ISSUES/REVISIONS

Building Design Studio

yanstudio1@live.com  
778-899-8958

1275 West Hastings Street  
Vancouver .B.C.

Civic Address:

2830 LANDSDOWNE ROAD  
THE DISTRICT OF OAK BAY,BC

LEGAL DESCRIPTION

LOT 15 B A SEC 31  
VICTORIA DISTRICT  
PLAN 3599

DRAWN:

MERRY GAO

yanstudio1@live.com  
778-899-8958

Drawing Title:

RENDERING

scale:	date:
AS SHOWN	2022-08-26
checked:	
project no.:	sheet no.:
202101	A-1
	revision:

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ALL WORK SHALL CONFORM TO THE STANDARDS OF BRITISH COLUMBIA BUILDING CODE 2018.

IN CASE OF A DISCREPANCY BETWEEN STIPULATIONS OF THESE DRAWINGS AND OF APPLICABLE REGULATIONS, THE MORE STRINGENT SHALL PREVAIL.

ALL EXTERIOR AND OVERALL DIMENSIONS IS INDICATED TO THE OUTSIDE FACE OF THE SHEATHING.

ALL INTERIOR FRAMING DIMENSIONS TO BE TAKEN TO FACE OF GYPSUM BOARD.

ALL GLAZING WITHIN 12" OF FLOOR TO BE SAFETY GLASS.

ALL GLAZED SHOWER OR BATHTUB ENCLOSURES, GLAZED DOORS AND SIDESIGHTS AND WINDOWS WITHIN 3'-0" OF

DOORLOCKS TO BE OF SAFETY GLASS.

DOUBLE JOISTS TO BE USED UNDER ALL PARTITIONS RUNNING PARALLEL TO SUCH JOISTS.

ALL RAILINGS GUARDS) SHALL BE DESIGNED TO PREVENT THE PENETRATION OF A SPHERICAL OBJECT OF MAXIMUM 4".

ALL HANDRAILS TO BE 2'-8" MINIMUM AND 3'-0" MAXIMUM ABOVE STAIR NOSING.

JOISTS TO BE RESTRAINED FROM TWISTING AT END SUPPORTS AND AT INTERVALS OF MAXIMUM 7'-0" CROSS BRIDGING,

SOLID BLOCKING, CONTINUOUS STRAPPING, ETC.)

PROVIDE PRE-FINISHE METAL FLASHING HEAD OVER ALL EXTERIOR OPENINGS.

ALL INTERIOR FINISHES AS PER OWNER'S SPECIFICATIONS.

FLOOR FINISHES IN BATHROOMS TO BE IMPERVIOUS.

GYPSUM WALLBOARD AROUND TUBS AND SHOWERS TO BE OF WATER RESISTANT TYPE.

CAULK AROUND ALL EXTERIOR OPENINGS.

ALL WOOD MEMBERS IN CONTACT WITH CONCRETE TO BE PROTECTED WITH A C.S.A. APPROVED WOOD PRESERVATIVE.

PROVIDE 1/300 OF ATTIC AREA IN UNOBSTRUCTED AREA FOR VENTILATION.

PROVIDE 1/500 OF CRAWL SPACE AREA IN UNOBSTRUCTED AREA FOR VENTILATION.

ALL LUMBER, FLOOR BOARDS AND RAILINGS OF EXTERIOR BALCONIES, SUNDECKS AND PATIOS TO BE TREATED WITH A C.S.A.

APPROVED WOOD PRESERVATIVE.

ALL EXTERIOR HANDRAIL TO BE 3'-6" MINIMUM.

B.C.B.C. 9.32.3.5.1) THE PRINCIPAL VENTILATION SYSTEM EXHAUST FAN SHALL RUN CONTINUOUSLY AT THE MIN. AIR-FLOW

RATE SPECIFIED IN B.C.B.C. TABLE 9.32.3.5.

B.C.B.C. 9.32.3.5.5) THE SOUND RATING OF THE PRINCIPAL VENTILATION SYSTEM EXHAUST FAN SHALL NOT EXCEED 1.0 SONE

WHEN OPERATING CONTINUOUSLY.

B.C.B.C. 9.32.3.6.1)a) KITCHEN EXHAUST FAN SHALL BE PROVIDED AT THE MIN AIR-FLOW RATE OF 47 L/s (INTERMITTENT)

B.C.B.C. 9.32.3.6.1)b) BATHROOM AND WATER CLOSET ROOM EXHAUST FAN SHALL BE PROVIDED AT THE MIN AIR-FLOW RATE

OF 23 L/s INTERMITTENT AND 9 L/s CONTINUOUSLY.

MAKE UP AIR FAN WHERE REQUIRED SHALL COMPLY WITH B.C.B.C. 9.32.4.

B.C.B.C. 9.32.4.2. CARBON MONOXIDE ALARM SHALL BE PROVIDED AT A HEIGHT ON OR NEAR CEILING OR AS RECOMMENDED

BY THE MANUFACTURER'S INSTRUCTIONS IN EACH BEDROOM OR WITHIN 5.0 m OUTSIDE EACH BEDROOM MEASURED

FOLLOWING COORIDORS FROM THE DOOR.

ENERGY EFFICIENCY

THE ENERGY EFFICIENCY OF THE BUILDING SHALL COMPLY WITH THE PRESCRIPTIVE REQUIREMENTS OF B.C.B.C. 9.36.2

THROUGH 9.36.4.

ATTIC CEILING WITH TRUSSES AT 24" O.C.: NORMAL: RSI 7.0 (R-40)

CATHEDRAL CEILING OR FLAT ROOF (MIN. 2 X 10 AT 16" O.C.): EFFECTIVE RSI 4.67 (R-26.5) / NORMAL RSI 4.9 (R-28)

WALL (MIN. 2 X 6 AT 16" O.C.): EFFECTIVE RSI 2.78 (R-15.8) / NORMAL RSI 3.5 (R-20)

FLOOR OVER UNHEATED SPACE (MIN. 2 X 10 AT 16" O.C.): EFFECTIVE RSI 4.67 (R-26.5)/ NORMAL RSI 4.9 (R-28)

HEATED FLOOR (4" CONCRETE FLOOR SLAB): EFFECTIVE & NORMAL RSI 2.32 (R-13.2)

SKYLIGHT: USI 2.90 (U-0.51)

FRONT DOOR: USI 2.6 (U-0.46)

EXTERIOR DOOR: USI 1.80 (U-0.32)

DOOR TO GARAGE: RSI 1.1 (R-6.25)

WINDOW: USI 1.80 (U-0.32)

GLASS BLOCK: USI 2.90 (U-0.15)

ACCESS HATCH: RSI 2.6 (U-0.46)

B.C.B.C. 9.36.2.7. ALL WINDOW, DOOR AND SKYLIGHT SHALL HAVE LABEL INDICATING THE ENERGY PERFORMANCE RATING.

B.C.B.C. 9.36.2.9. AIR BARRIER SHALL BE CONTINUOUS ACROSS JOINTS, BETWEEN ASSEMBLIES AND AROUND PENETRATION.

B.C.B.C. 9.36.4.4. PIPE INSULATION OF RSI 0.35 (R-20) SHALL BE PROVIDED TO THE FIRST 2 METRE OF THE STORAGE TANK

INLET AND OUTLET.

ALL HEATING AND COOLING SYSTEMS INCULDING PIPES AND DUCTS SHALL BE INSTALLED IN HEATING SPACE OR INSULATED

WITH EFFETIVE THERMAL RESISTANCE EQUIVALENT TO EXTERIOR ABOVE GRADE WALL.

GAS FIRED FURNACE LESS THAN 220,000 BTU/Hr. (66KW)

- ANNUAL FUEL USE EFFICIENCY MUST BE GREATOR THAN OR EQUAL TO 92%

GAS FIRED BOILER LESS THAN OR EQUAL TO 300,000 BTU/Hr. (88KW)

- ANNUAL FUEL USE EFFICIENCY MUST BE GREATER THAN OR EQUAL TO 90%

AIR COOLED UNITARY AIR AND CONDITIONER AND HEAT PUMP EPLIT SYSTEM LESS THAN OR EQUAL TO 65,000 BTU/Hr. (19KW)

- SEASONAL ENERGY EFFICIENCY RATING OR 14.5 AND ENERGY EFFICIENCY RATING OF 11.5

GAS FIRED TANKLESS LESS THAN OR EQUAL TO 250,000 BTU/Hr. (73.2KW)

- ENERGY FACTOR MUST BE GREATER THAN OR EQUAL TO 0.8

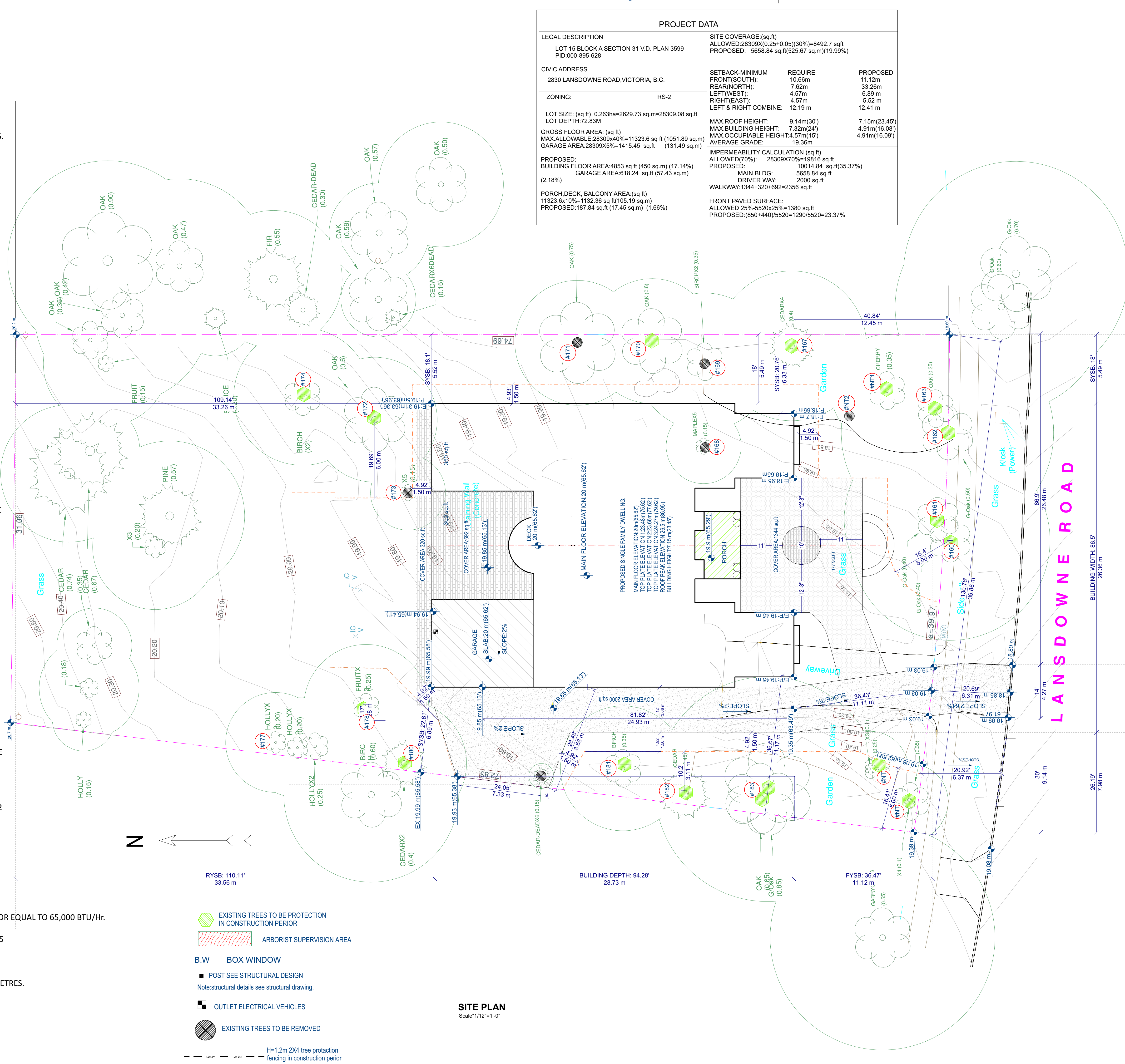
GAS FIRED SERVICE WATER HEATING STORAGE LESS THAN 75,000 BTU/Hr. (22KW)

- ENERGY FACTOR MUST BE GREATER THAN OR EQUAL TO 0.67-0.0005 TANK VOLUME IN LETRES.

GAS FIRED TANKLESS LESS THAN OR EQUAL TO 250,000 BTU/Hr. (73.2KW)

- ENERGY FACTOR MUST BE GREATER THAN OR EQUAL TO 0.8.

Heating will be in slab radiant water heating supplied by boiler.



PROJECT DATA			
LEGAL DESCRIPTION		SITE COVERAGE:(sq.ft)	
LOT 15 BLOCK A SECTION 31 V.D. PLAN 3599		ALLOWED:28309X(0.25+0.05)(30%)=8492.7 sqft	
PID:000-895-628		PROPOSED: 5658.84 sq.ft(525.67 sq.m)(19.99%)	
CIVIC ADDRESS		SETBACK-MINIMUM	
2830 LANSDOWNE ROAD,VICTORIA, B.C.		REQUIRE	
ZONING:		PROPOSED	
RS-2		10.66m	
LOT SIZE: (sq ft) 0.263ha=2629.73 sq.m=28309.08 sq.ft		7.62m	
LOT DEPTH:72.83M		6.89 m	
GROSS FLOOR AREA: (sq ft)		4.57m	
MAX ALLOWABLE:28309X40%=11323.6 sq ft (1051.89 sq.m)		4.57m	
GARAGE AREA:28309X5%=1415.45 sq.ft (131.49 sq.m)		12.19 m	
PROPOSED:		MAX,ROOF HEIGHT:	
BUILDING FLOOR AREA:4853 sq ft (450 sq.m) (17.14%)		9.14m(30')	
(2.18%)		MAX,BUILDING HEIGHT:	
PORCH,DECK, BALCONY AREA:(sq ft)		7.32m(24')	
11323.6x10%=1132.36 sq ft(105.19 sq.m)		4.91m(16.08')	
PROPOSED:187.84 sq.ft (17.45 sq.m) (1.66%)		MAX,OCCUPIABLE HEIGHT:4.57m(15')	
		4.91m(16.09')	
		AVERAGE GRADE:	
		19.36m	
		IMPERMEABILITY CALCULATION (sq ft)	
		ALLOWED(70%): 28309X70%=19816 sq.ft	
		PROPOSED:	
		10014.84 sq.ft(35.37%)	
		MAIN BLDG:	
		5658.84 sq.ft	
		DRIVER WAY:	
		2000 sq.ft	
		WALKWAY:1344+320+692=2356 sq.ft	
		FRONT PAVED SURFACE:	
		ALLOWED 25%-5520x25%=1380 sq.ft	
		PROPOSED:(650+440)/5520=1290/5520=23.37%	

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ISSUES/REVISIONS		



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THE DISTRICT OF OAK BAY,BC

LEGAL DESCRIPTION

LOT 15 B A SEC 31  
VICTORIA DISTRICT  
PLAN 3599

DRAWN:

MERRY GAO

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778-899-8958

Drawing Title:

SITE PLAN

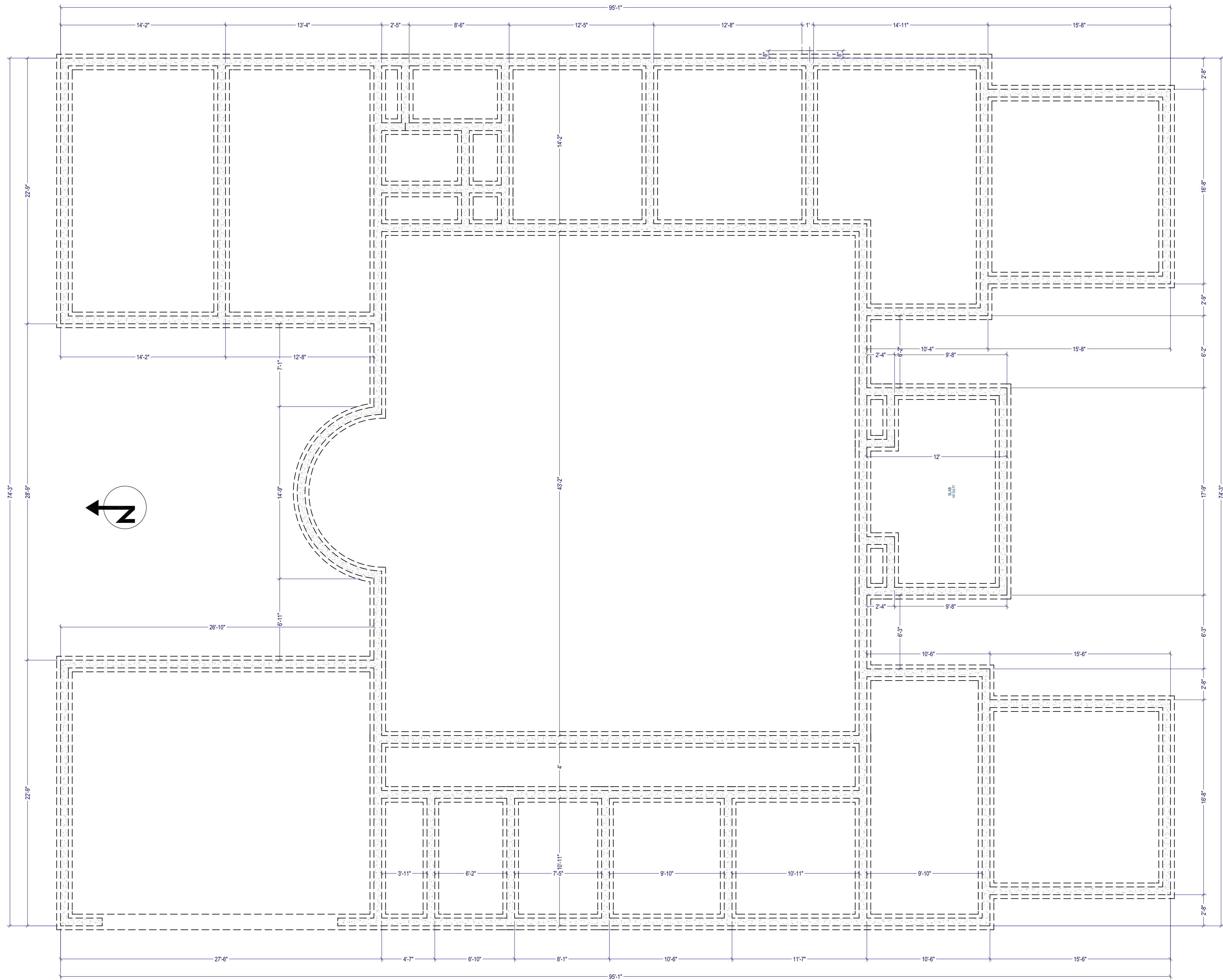
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checked:

project no.: 202101 sheet no.: A-2 revision:

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**FOUNDATION PLAN**  
Scale: 1/4"=1'-0"

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LEGAL DESCRIPTION

LOT 15 B A SEC 31  
VICTORIA DISTRICT  
PLAN 3599

DRAWN:

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Drawing Title:

FOUNDATION  
PLAN


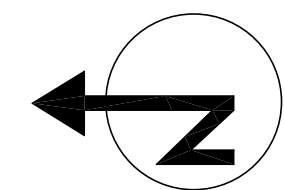
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project no.:	sheet no.:
202101	A-3
	revision:

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UAN Building Design Studio

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LEGAL DESCRIPTION

LOT 15 B A SEC 31  
VICTORIA DISTRICT  
PLAN 3599

DRAWN:

MERRY GAO

Floor

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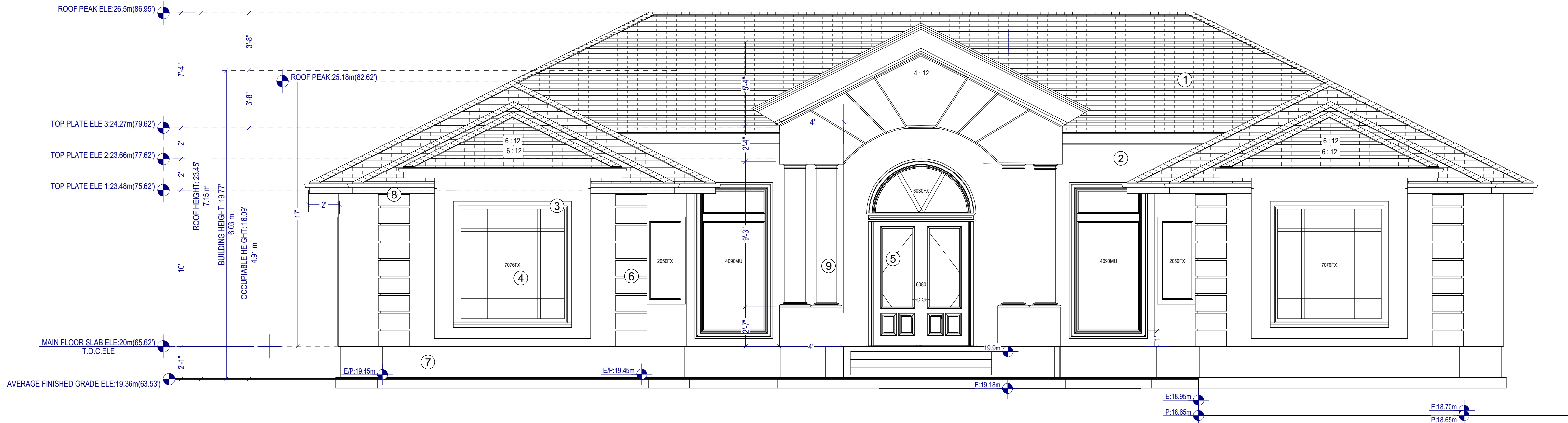
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**FLOOR PLAN**

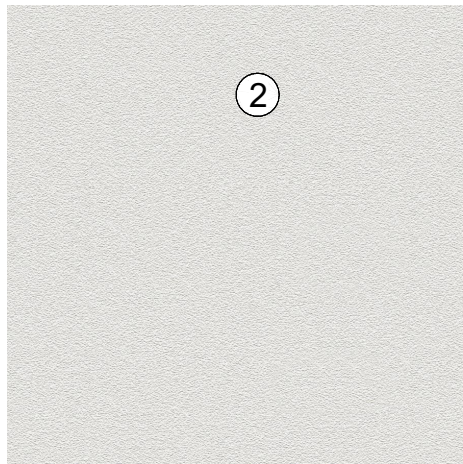
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project no.: <b>202101</b>	sheet no.: <b>A-4</b>
	revision:

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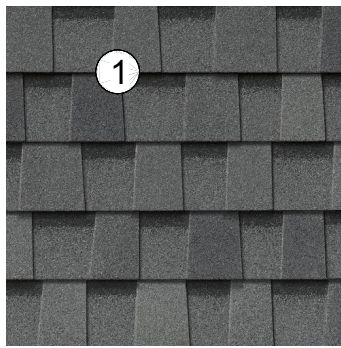
1. ASPHALT SHINGLES ROOFING (MIN. 30 YR., DARK GREY)
2. SMOOTH STUCCO FINISHING(STONE GREY)
3. VINYL LINTEL & WINDOW TRIM(GREY)
4. ALUMINUM ALLOY WINDOW ,CLEAR GLAZED
5. FRENCH/VINYL DOORS
6. LEMON STONE COLUMN
7. CAST STONE TRIM
8. CONCRETE FOUNDATION WALL
9. ALUMINUM GUTTER
10. WHITE STONETEX



EXTERIOR WALL STUCCO



EXTERIOR CROWN MOULDING SAMPLE



ASPHALT SHINGLES  
ROOFING(DARK GREY)

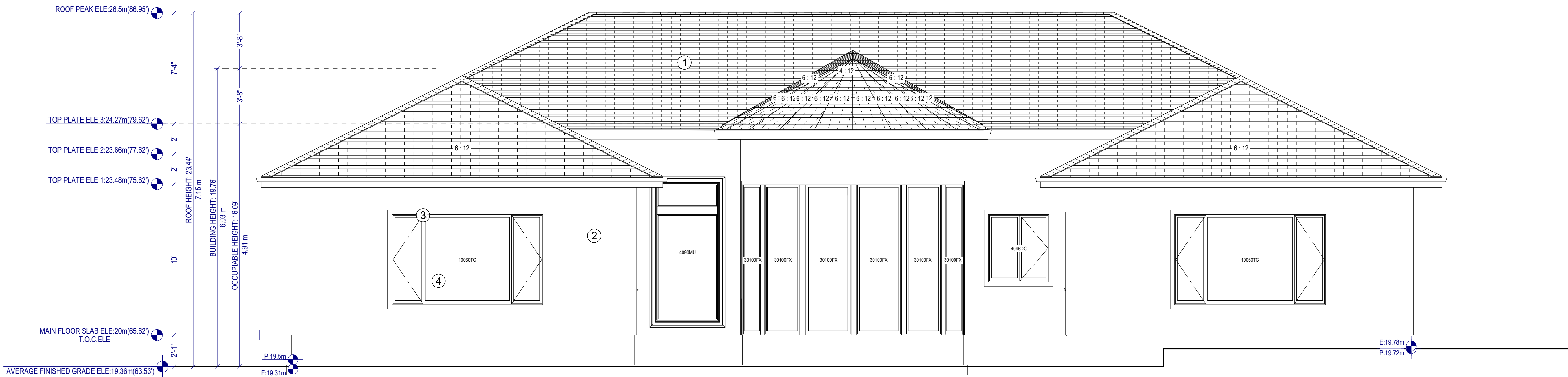


WHITE STONETEX



LEMON STONE  
COLUMN

**SOUTH ELEVATION**  
Scale:1/4"=1'-0"



**NORTH ELEVATION**  
Scale:1/4"=1'-0"

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THE DISTRICT OF OAK BAY,BC

LEGAL DESCRIPTION  
LOT 15 B A SEC 31  
VICTORIA DISTRICT  
PLAN 3599

DRAWN:

**MERRY GAO**  
yanstudio1@live.com  
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Drawing Title:

**ELEVATION 1**

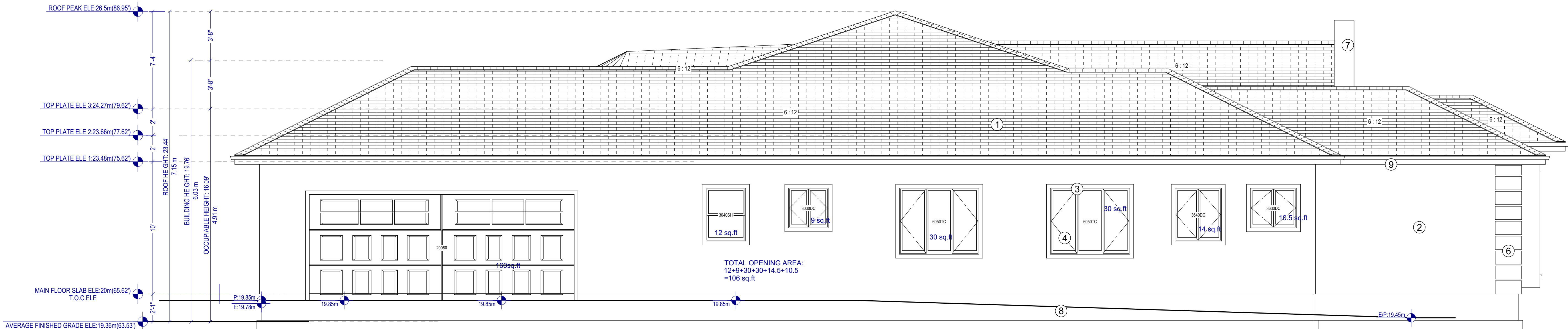
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project no.: 202101 sheet no.: **A-5**  
revision:

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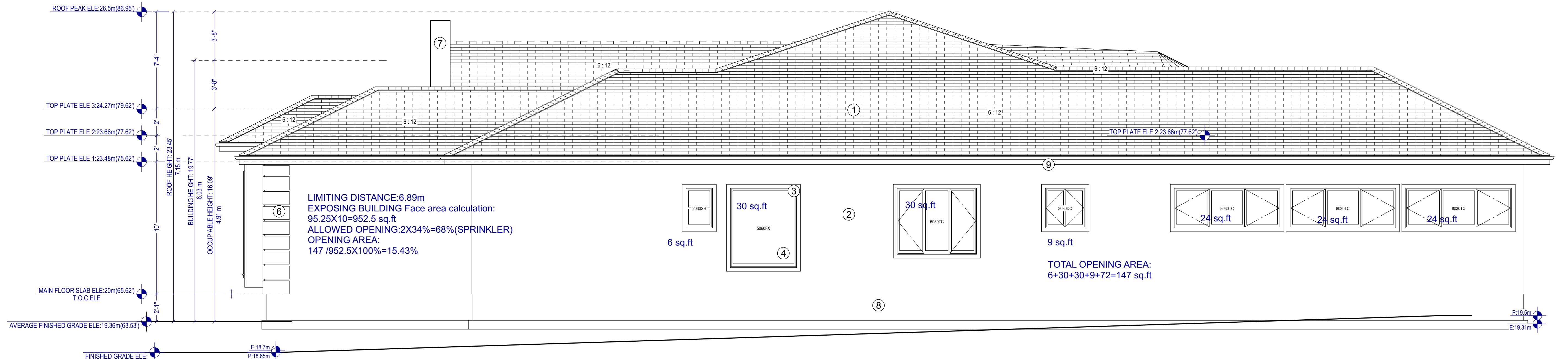




LIMITING DISTANCE:6.89m  
EXPOSING BUILDING Face area calculation:  
95.25X10=952.5 sq.ft  
ALLOWED OPENING:2X34%=68%(SPRINKLER)  
OPENING AREA:  
160+106 sq.ft  
266 /952.5X100%=27.93%

1. ASPHALT SHINGLES ROOFING (MIN. 30 YR., DARK GREY)
2. SMOOTH STUCCO FINISHING(STONE GREY)
3. VINYL LINTEL & WINDOW TRIM(GREY)
4. ALUMINUM ALLOY WINDOW ,CLEAR GLAZED
5. FRENCH/VINYL DOORS
6. LEMON STONE COLUMN
7. CAST STONE TRIM
8. CONCRETE FOUNDATION WALL
9. ALUMINUM GUTTER
10. WHITE STONE TEX ROUND COLUMN

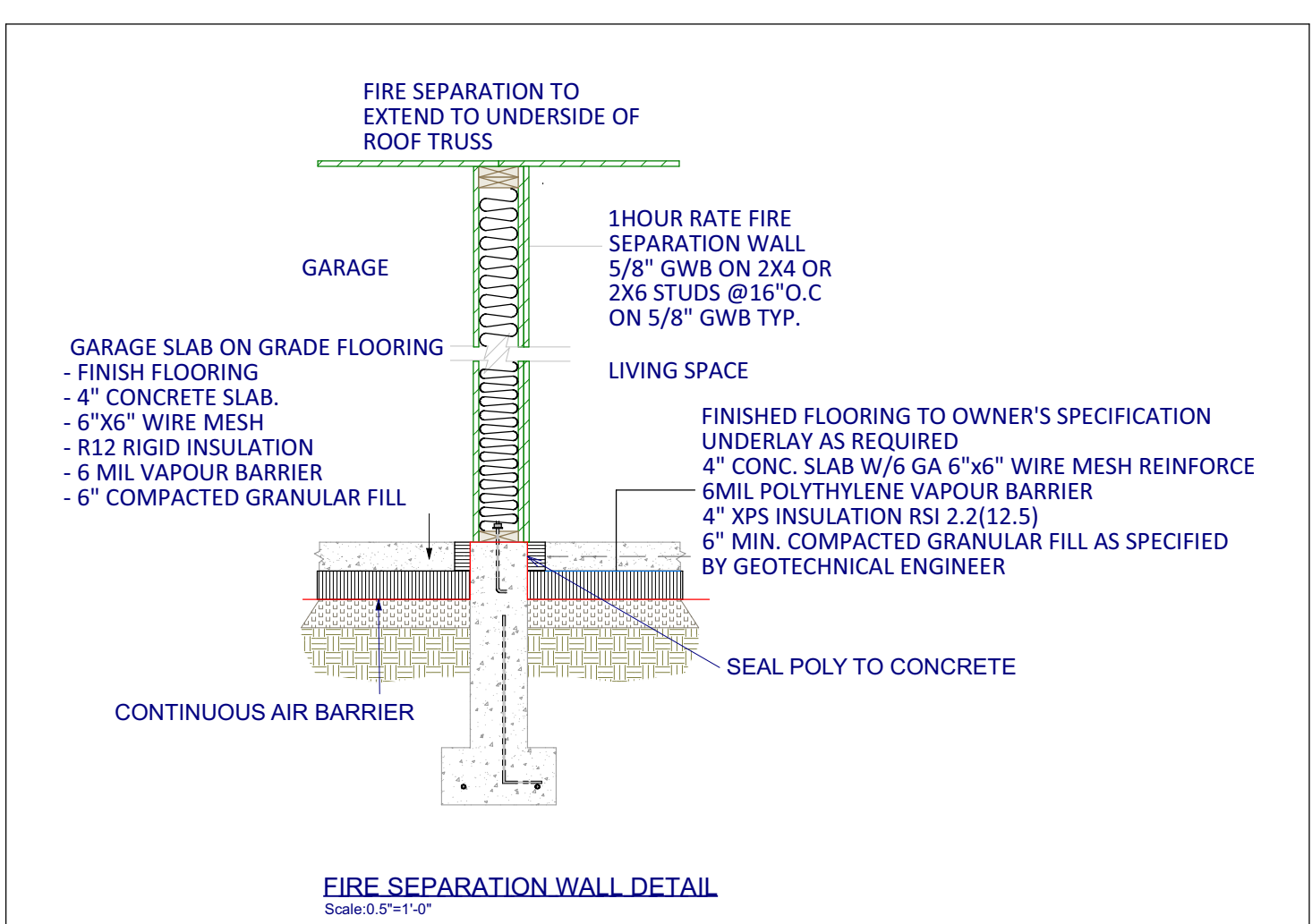
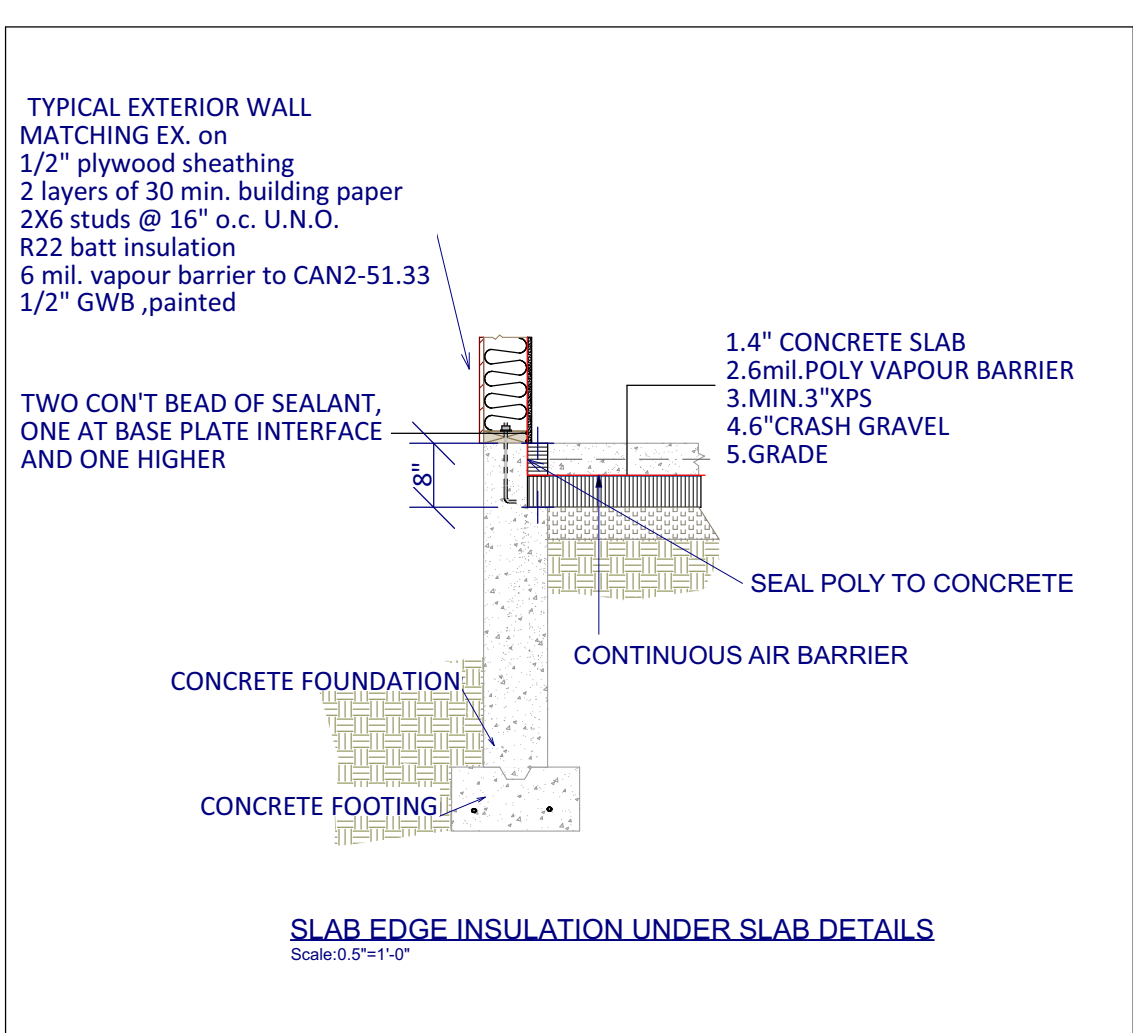
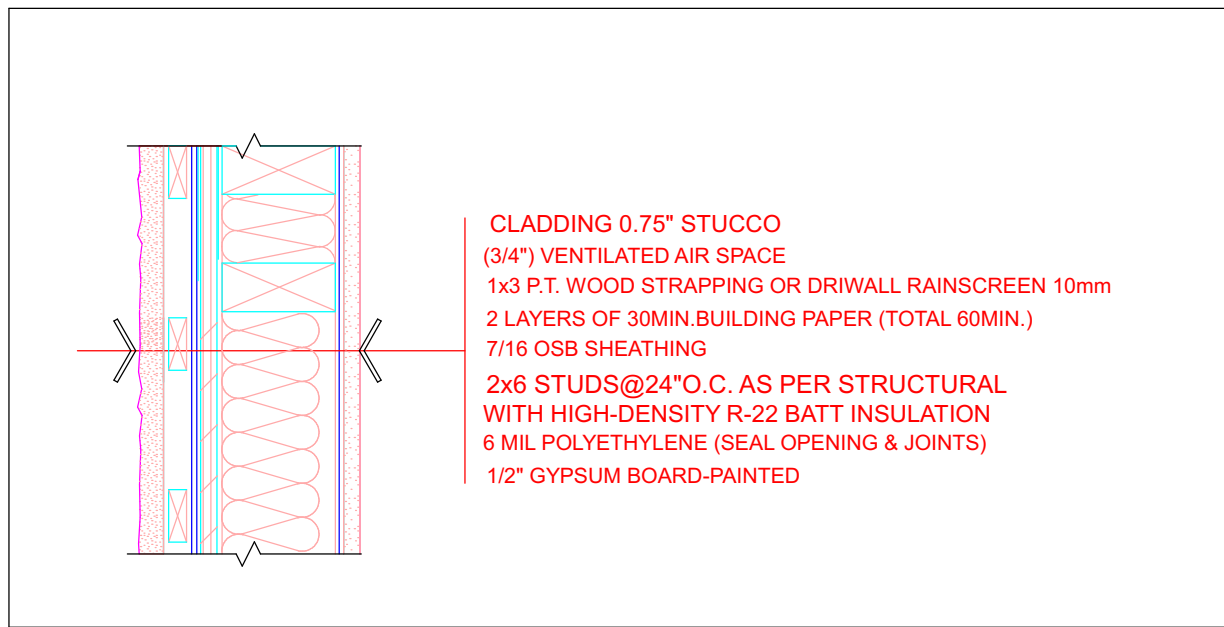
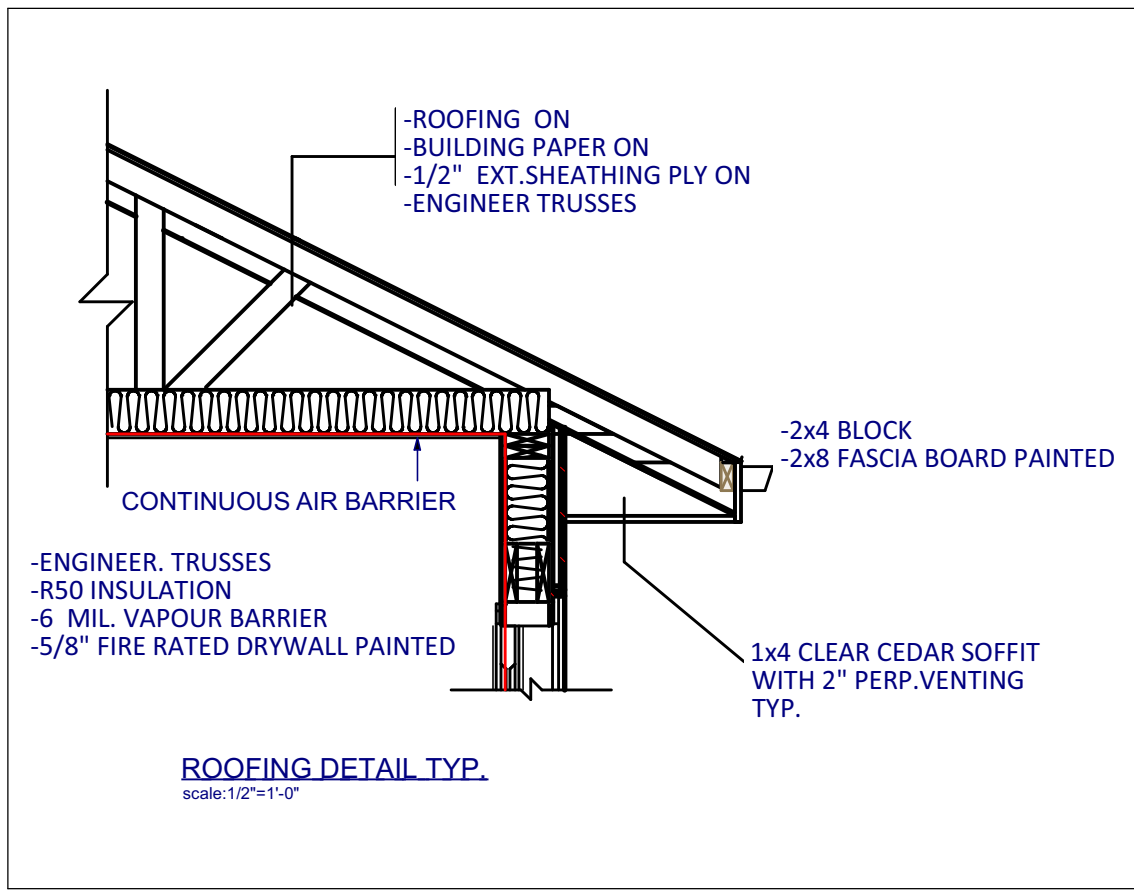
**WEST ELEVATION**  
Scale: 1/4"=1'-0"



LIMITING DISTANCE:6.89m  
EXPOSING BUILDING Face area calculation:  
95.25X10=952.5 sq.ft  
ALLOWED OPENING:2X34%=68%(SPRINKLER)  
OPENING AREA:  
147 /952.5X100%=15.43%

TOTAL OPENING AREA:  
6+30+30+9+72=147 sq.ft

**EAST ELEVATION**  
Scale: 1/4"=1'-0"



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LEGAL DESCRIPTION

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VICTORIA DISTRICT  
PLAN 3599

DRAWN:

MERRY GAO

yanstudio1@live.com  
778-899-8958

Drawing Title:

ELEVATION 2

scale: AS SHOWN date: 2022-08-26

checked:

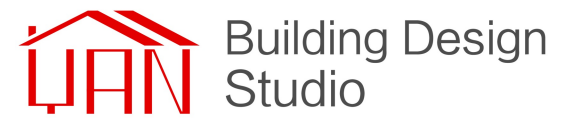
project no.: 202101 sheet no.: A-6

revision:

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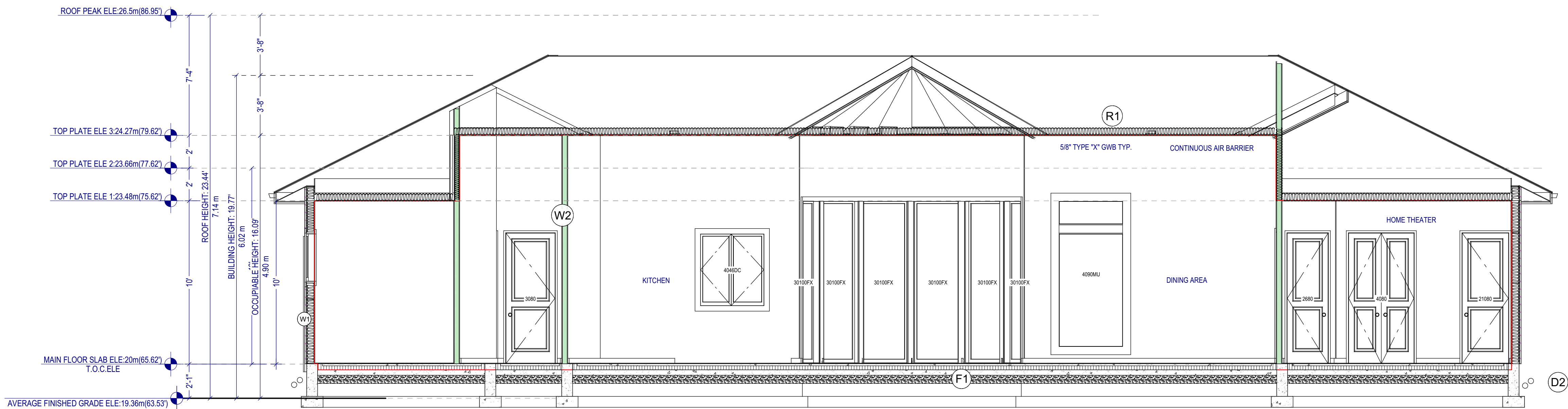
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PLAN 3599

DRAWN:  
  
MERRY GAO  
yanstudio1@live.com  
778-899-8958

Drawing Title:  
  
SECTION  
& DETAILS

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project no.:	sheet no.:
202101	A-7
	revision:

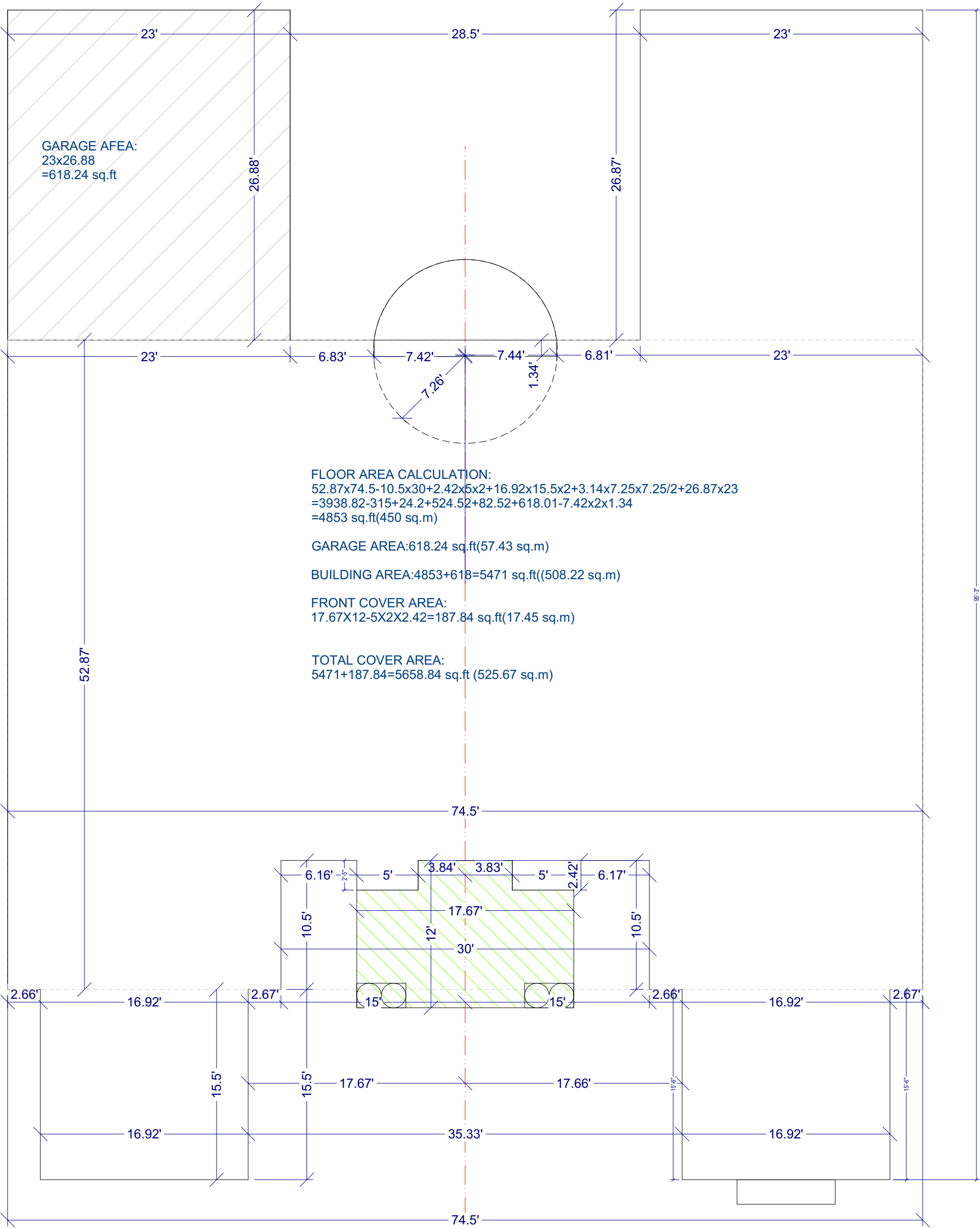
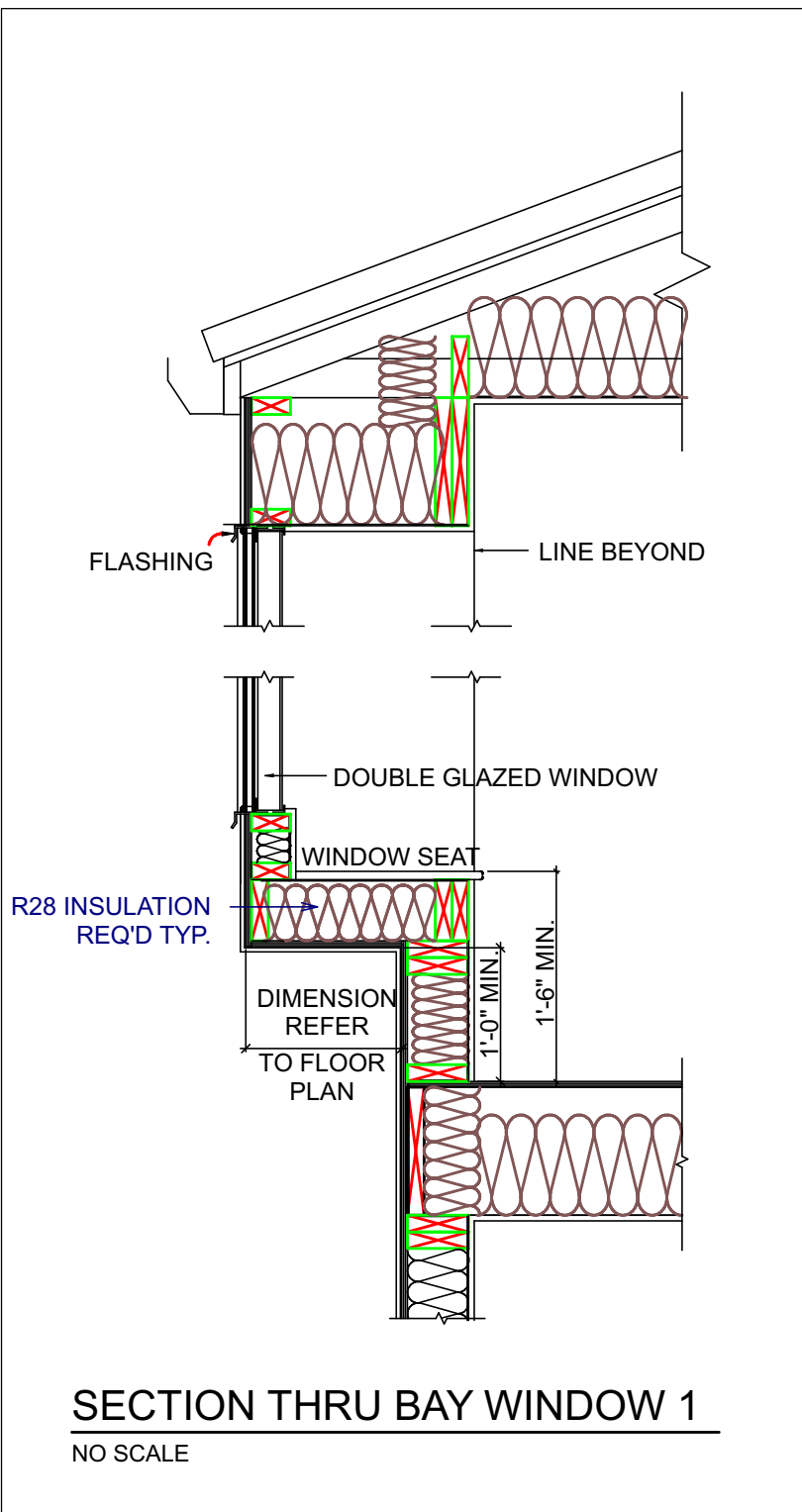
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A-A SECTION  
Scale: 1/4"=1'-0"

CONSTRUCTION ASSEMBLY:

<b>W1-TYPICAL EXTERIOR WALL CW RAINSCREEN SYSTEM</b> MIN. EFFECTIVE INSULATION RSI 3.85(R-22) CLADDING (0.75" STUCCO) 3/4" VENTILATED AIR SPACE 1x3 PRESERVATIVE TREATED PLYWOOD SCREW THROUGH MINERAL WOOL INSULATION 2 LAYERS OF 30 MIN. BUILDING PAPER (TOTAL 60 MIN.) 7/16 OSB SHEATHING 2x6 STUDS @ 16" O.C. AS PER STRUCTURAL WITH HIGH-DENSITY R-24 FG BATT 6 MIL POLYETHYLENE (SEAL OPENINGS AND JOINS) 1/2" GYPSUM WALL BOARD-PAINTED  CWC F8.524.128 PW.V. SIMILAR EFFECTIVE INSULATION RSI 3.89(R-22.07) EFFECTIVE OF THE WALL ASSEMBLY- RSI 3.93 RSI 0.03- EXTERIOR AIR FILM RSI 0.15- 9.5mm RAINSCREEN AIR SPACE RSI 0.11- 1/2" PLYWOOD SHEATHING RSI 3.44- 2x6 STUDS @ 16" O.C. FILLED WITH RSI 4.93 BATT INSULATION RSI 0.08- 1/2" GYPSUM BOARD RSI 0.12- INTERIOR AIR FILM	<b>W2-TYPICAL INTERIOR WALL</b> 2x6 or 2x4 STUDS @ 16" O.C. AS PER STRUCTURAL 2x6 STUDS @ 16" O.C. (FOR PLUMBING WALL) 1/2" GYPSUM WALL BOARD ON BOTH SIDES-PAINTED  <b>W3-TYPICAL INTERIOR WALL (BATHROOM)</b> 1/2" WATER RESISTANT GYPSUM WALL BOARD ON BATH TUB SIDE 2x4 STUDS @ 16" O.C. EXCEPT AS NOTED ON STRUCTURAL DRAWINGS 2x6 STUDS @ 16" O.C. (FOR PLUMBING WALL) 1/2" GYPSUM WALL BOARD ON BOTH SIDES-PAINTED  <b>D2-TYPICAL DRAINAGE</b> 4" CONTINUOUS SOLID DRAIN PIPE AROUND ENTIRE PERIMETER 4" PERFORATED DRAIN PIPE AROUND ENTIRE BUILDING PERIMETER MINIMUM 6" GRAVEL OVER AND AROUND SIDE TO BE INSPECTED BY DIST. PLUMB. INSPECTOR PRIOR TO BACKFILLING	<b>F1-CONCRETE SLAB ON GRADE</b> MIN. EFFECTIVE INSULATION RSI 2.32/R-13.2 FINISHED FLOORING TO OWNER'S SPECIFICATION UNDERLAY AS REQUIRED 4" CONC. SLAB W/ 6 GA 6"x6" WIRE MESH REINFORCEMENT 6 MIL POLYETHYLENE VAPOUR BARRIER 4" XPS INSULATION RSI 2.21(12.5) 6" MIN. COMPACTED GRANULAR FILL AS SPECIFIED BY GEOTECHNICAL ENGINEER  <b>R1-TYPICAL ROOF</b> ASPHALT ROOFING SHINGLES, METAL ONE PLY OF NO. 15 NON-PERFORATED SATURATED FELT 1/2" PLYWOOD SHEATHING ROOF TRUSS @ 30" O.C. AS PER STRUCTURAL DWGS R-50 BATT INSULATION 6 MIL POLY VAPOUR BARRIER 5/8" G.W.B. (1300 VENTILATION AREA FOR ALL OF SLOPING ROOF)
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FLOOR AREA CALCULATION  
Scale: 1/8"=1'-0"