

GENERAL NOTES:

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PROJECT

**2072 Hampshire
Road**
202207

ISSUE DATE: 22June20 REV 5

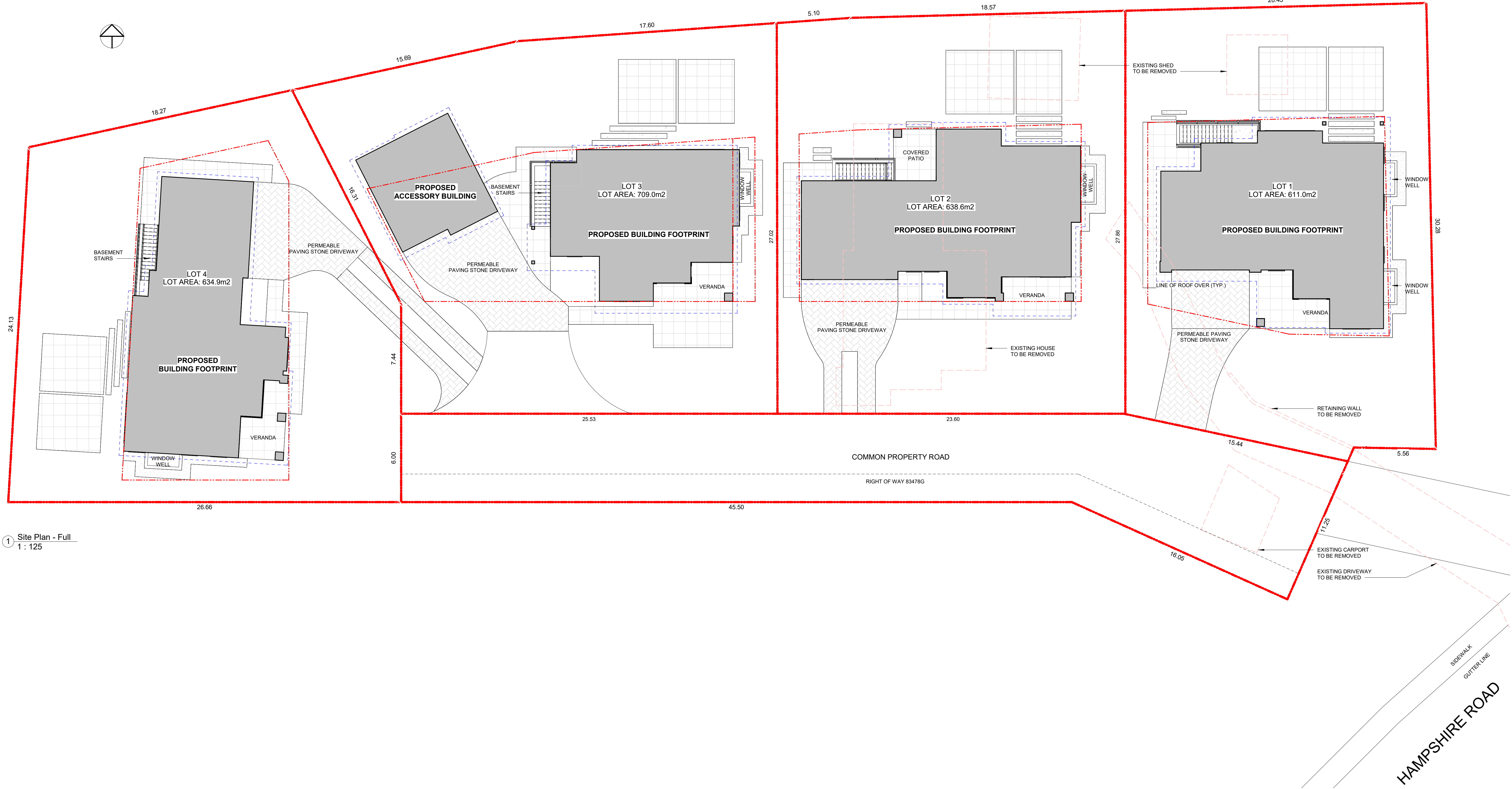
No.:	Description:
1	Concept 1
2	Site Concept REV1
3	Site Concept REV2
4	Site Concept REV3
5	Site Concept REV4

Date:	No.:
22Mar16	1
22Mar25	2
22Apr01	3
22Apr27	4
22June20	5

Site Plan

A1.1

① Site Plan - Full
1 : 125



② Streetscape - South Elevation
1 : 125





1608 Camosun Street, Victoria BC V8T 3E6
Info@biophiliacollective.ca 250 590 1156

CLIENT:
HOYT DESIGN CO.

PROJECT ADDRESS:
2072 Hampshire Rd
Oak Bay, BC

DESIGNED BY: BIANCA BODLEY
DRAWN BY: KIM TANG
SOPHIE SCOONES

NO.	ISSUED FOR	DATE
1	REVIEW	22/05/26
2	REVIEW	22/06/07
3	REVIEW	2022-06-14

SEAL

NORTH ARROW



DRAWING TITLE:
LANDSCAPE SITE PLAN

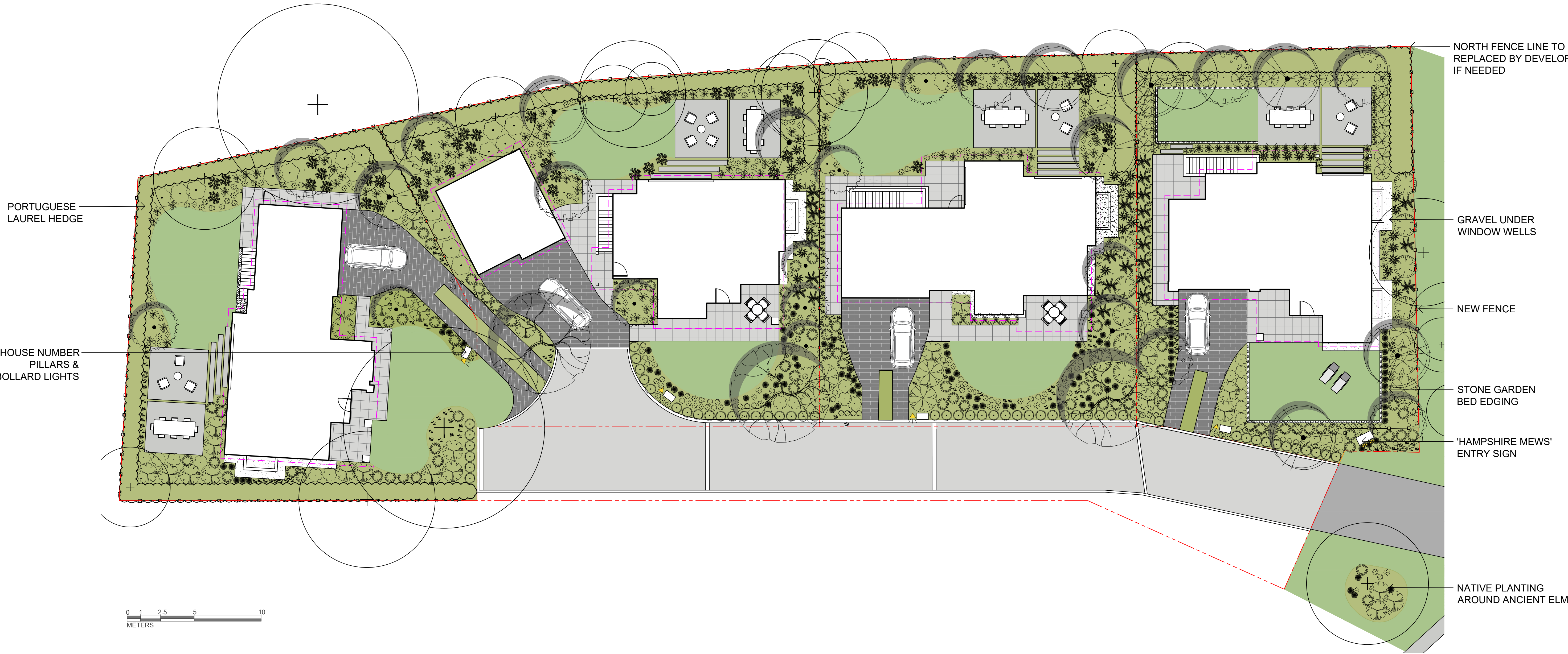
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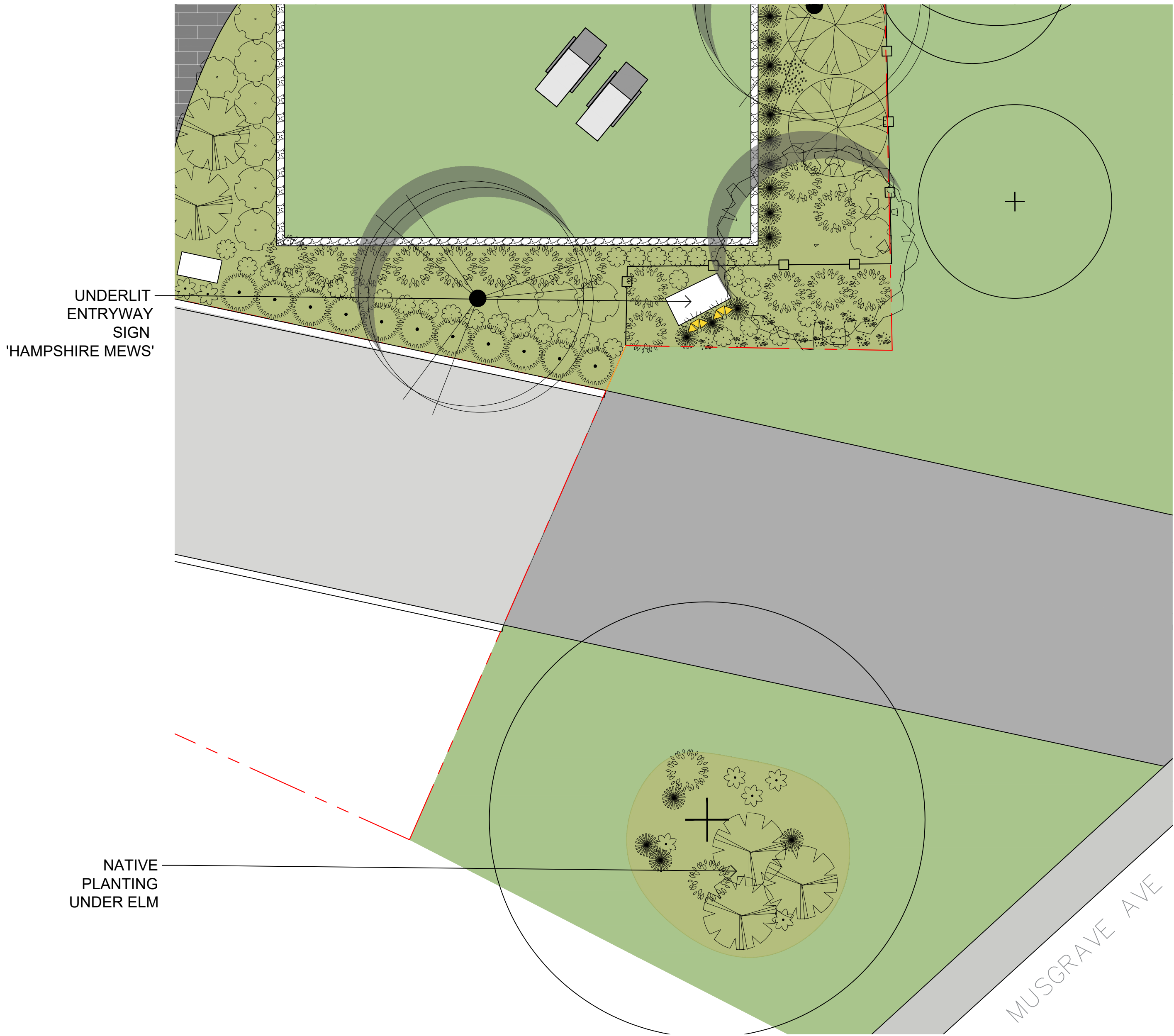
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L1

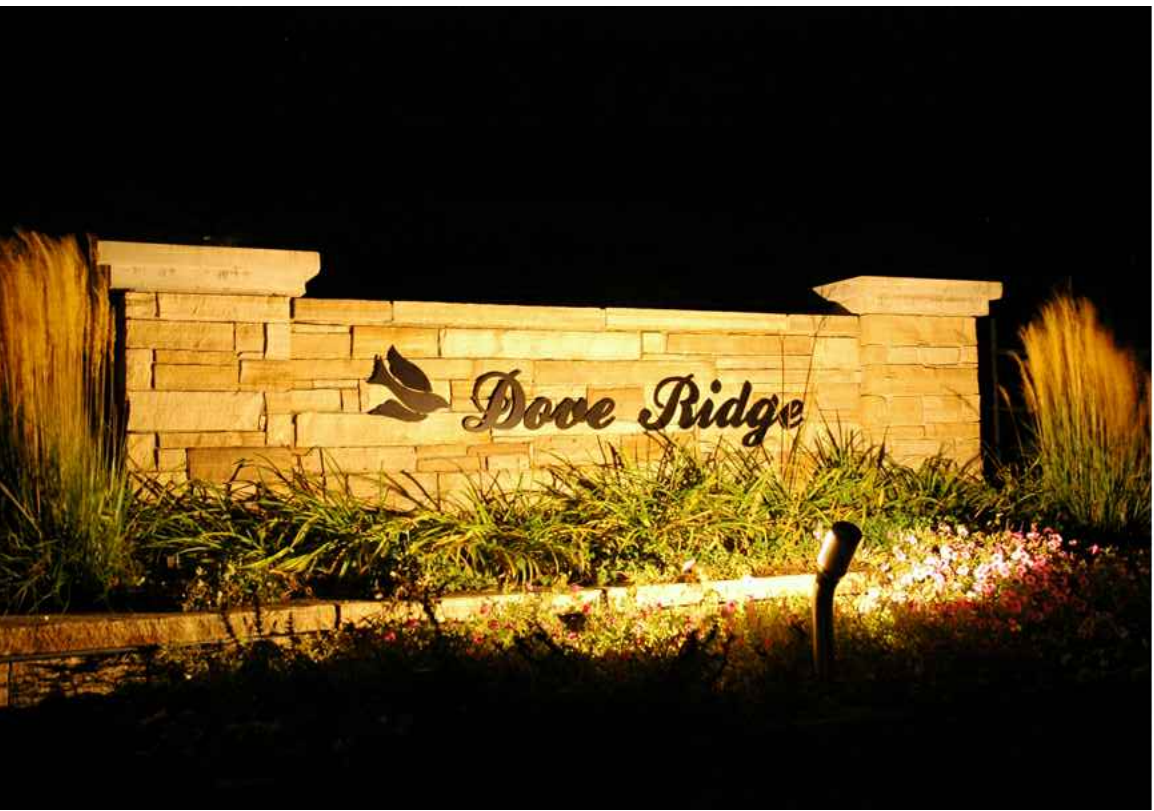
LEGEND

	PROPERTY LINE		ROOF OVERHANG
	SOD <ul style="list-style-type: none">150 mm DEPTH LOW TRAFFIC LAWN GROWING MEDIUM (MMCD)SOD		ON-SITE LANDSCAPE AREA <ul style="list-style-type: none">450 - 600 mm DEPTH 1L GROWING MEDIUM (BCLS)50 mm DEPTH MULCH
	CONCRETE WALKWAY & PATIO		CONCRETE WALKWAY & PATIO
	ENHANCED PAVING <ul style="list-style-type: none">CONCRETE PAVERSCOLOUR: MULTI GREY		ENHANCED PAVING <ul style="list-style-type: none">CONCRETE PAVERSCOLOUR: MULTI GREY





ENTRY WAY DETAILS



1608 Camosun Street, Victoria BC V8T 3E6
Info@biophiliacollective.ca 250 590 1156

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Oak Bay, BC

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1	REVIEW	22/05/26
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SEAL

NORTH ARROW



DRAWING TITLE:
ENTRYWAY DETAILS

DWG NO:

SCALE: NTS

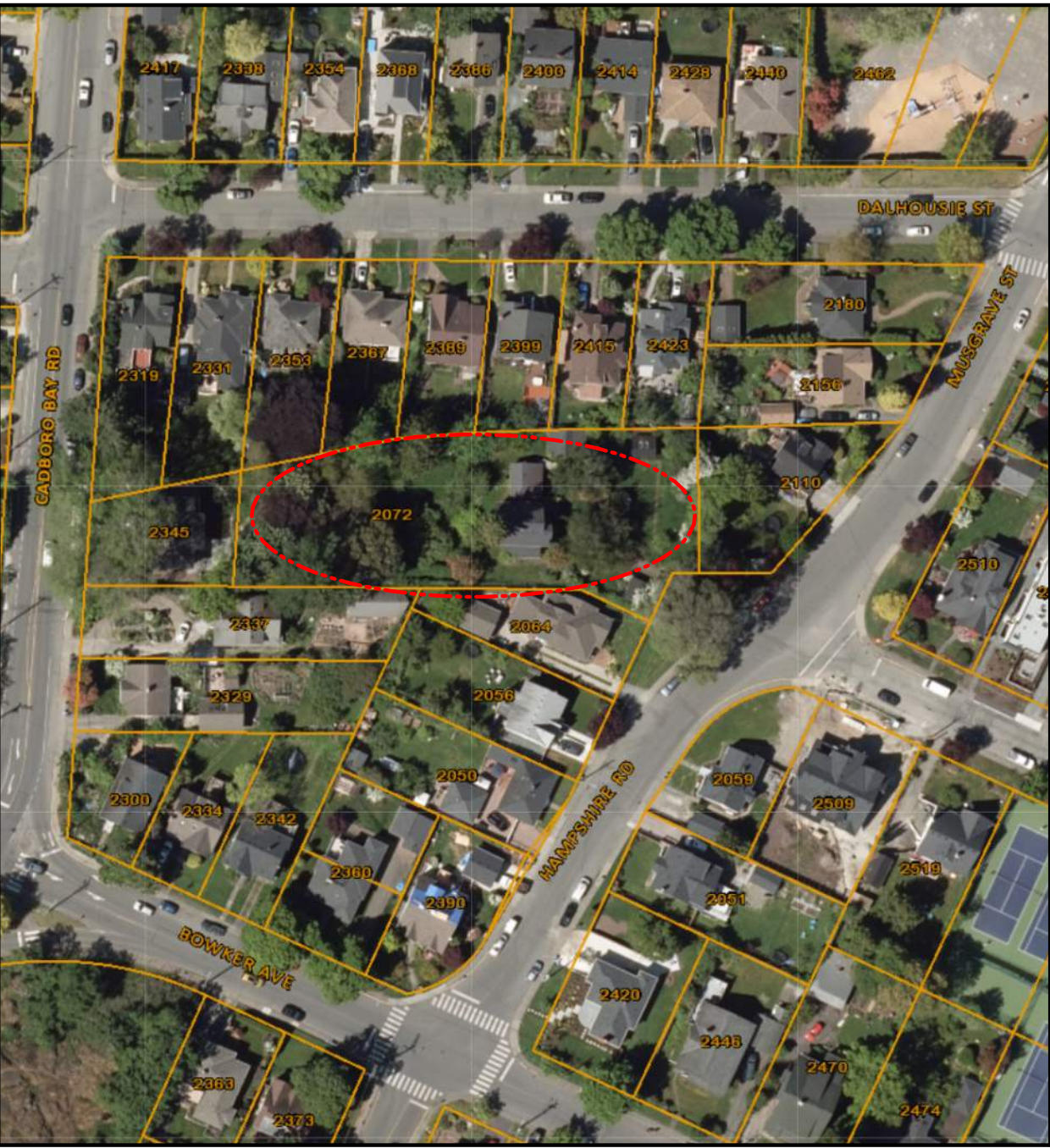
L2

NEW CUSTOM HOME:

Lot 1 Hampshire

OAK BAY, BC

KEY PLAN:



RS-5 ZONING ANALYSIS: LOT 1 (2072 HAMPSHIRE)





LOT AREA:	611.0m2	
FLOOR ELEVATIONS:	BASEMENT:	13.01m
	MAIN FLOOR:	15.80m
	SECOND FLOOR:	19.20m
	GARAGE SLAB:	15.65m

AVERAGE GRADE: 15.47m

F.S.R:	ALLOWABLE	PROPOSED	
	0.40 (244.4m2)	0.39 (237.9m2)	
GROSS FLOOR AREA:	ALLOWABLE	PROPOSED	
	BASEMENT:	(100.0% EXEMPT)	101.4m2 (EXEMPT)
	GARAGE:	(22.0m2 EXEMPT)	23.0m2 (45.0m2-22.0m2)
	MAIN FLOOR:		103.1m2
	VERANDA:	(15.0m2 EXEMPT)	14.0m2 (EXEMPT)
	COVERED PATIO (REAR):	(1.8m2 EXEMPT)	4.2m2 (6.0m2-1.8m2)
	SECOND FLOOR:		107.6m2
	TOTAL:	244.6m2	237.9m2

LOT COVERAGE:	ALLOWABLE	PROPOSED
HOUSE:	30.0% (183.3m2)	28.9% (176.7m2)

HEIGHT:	ALLOWABLE	PROPOSED
OCCUPIABLE HEIGHT:	4.42m	3.73m
BUILDING HEIGHT:	7.07m	6.49m
ROOF HEIGHT:	8.84m	8.81m

SETBACKS:	ALLOWABLE	PROPOSED
FRONT (S):	7.62m	7.67m
REAR (N):	7.62m	7.87m
SIDE (E):	1.52m 	3.07m 
SIDE (W):	1.52m 	2.35m 
SECOND FLOOR SIDE (E):	3.00m	3.20m
SECOND FLOOR SIDE (W):	3.00m	5.13m

PROJECT INFORMATION:

SITE ADDRESS: LOT 1 - 2072 HAMPSHIRE ROAD,
OAK BAY, BC.
LOT A, SECTION 61,
VICTORIA DISTRICT, PLAN
EPP28842

SCOPE OF WORK:

CONSTRUCTION OF A NEW SINGLE FAMILY DWELLING

PROJECT DIRECTORY:

DESIGNER: HOYT DESIGN CO.
250.999.9893
HELLO@HOYT.CO

GENERAL CONTRACTOR: TBD

STRUCTURAL ENGINEER: TBD

SURVEYOR: MCELHANNEY
250.370.9221

SHEET INDEX:

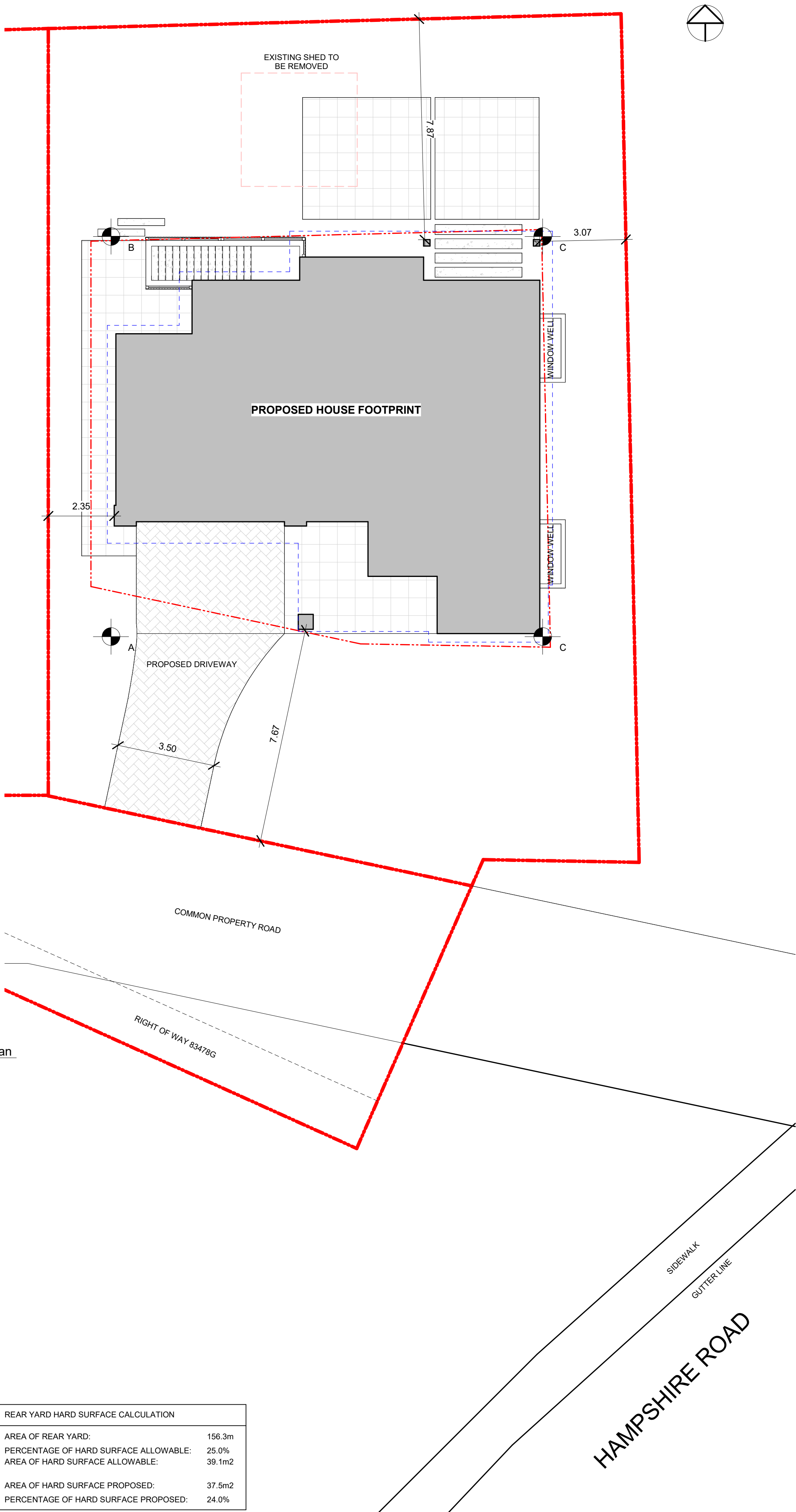
A0.0	SITE PLAN & ZONING ANALYSIS
A1.1	SITE PLAN
A1.2	FLOOR PLANS
A2.1	ELEVATIONS
A2.2	ELEVATIONS

AVERAGE GRADE CALC.	
POINT	ELEVATION (NATURAL)
A	15.46m
B	15.79m
C	15.58m
D	15.06m
TOTAL	61.89m / 4 = 15.47m

FRONT YARD HARD SURFACE CALCULATION	
AREA OF FRONT YARD:	164.2m
PERCENTAGE OF HARD SURFACE ALLOWABLE:	25.0%
AREA OF HARD SURFACE ALLOWABLE:	41.0m2
AREA OF HARD SURFACE PROPOSED:	30.2m2
PERCENTAGE OF HARD SURFACE PROPOSED:	18.4%

REAR YARD HARD SURFACE CALCULATION	
AREA OF REAR YARD:	156.3m
PERCENTAGE OF HARD SURFACE ALLOWABLE:	25.0%
AREA OF HARD SURFACE ALLOWABLE:	39.1m2
AREA OF HARD SURFACE PROPOSED:	37.5m2
PERCENTAGE OF HARD SURFACE PROPOSED:	24.0%

1 Site Plan
1 : 100



201-5325 Cordova Bay Road
Victoria, BC V8Y 2L3
250.999.9893
hello@hoyt.co | www.hoyt.co

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PROJECT

2072 Hampshire Road - Lot 1

202202

ISSUE DATE: 22June30 REV 6

Date:	Description:	No.:					
		1	2	3	4	5	6
22Mar16	Concept 1						
22Mar25	Site Concept REV1						
22Apr01	Site Concept REV2						
22Apr27	Site Concept REV3						
22May11	Concept 2						
22June30	Concept 3						

Site Plan & Zoning Analysis

A0.0

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PROJECT

**2072 Hampshire
Road - Lot 1**

202202

ISSUE DATE: 22June30 REV 6

No.:	1	2	3	4	5	6
Description:	Concept 1	Site Concept REV1	Site Concept REV2	Site Concept REV3	Concept 2	Concept 3
Date:	22Mar16	22Mar25	22Apr01	22Apr27	22May11	22June30

Elevations

A2.1



① Front - South
1/4" = 1'-0"



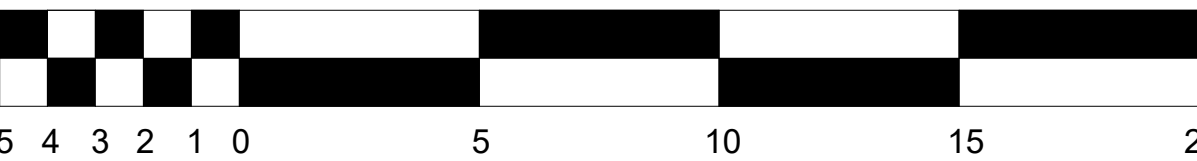
② North - Rear
1/4" = 1'-0"

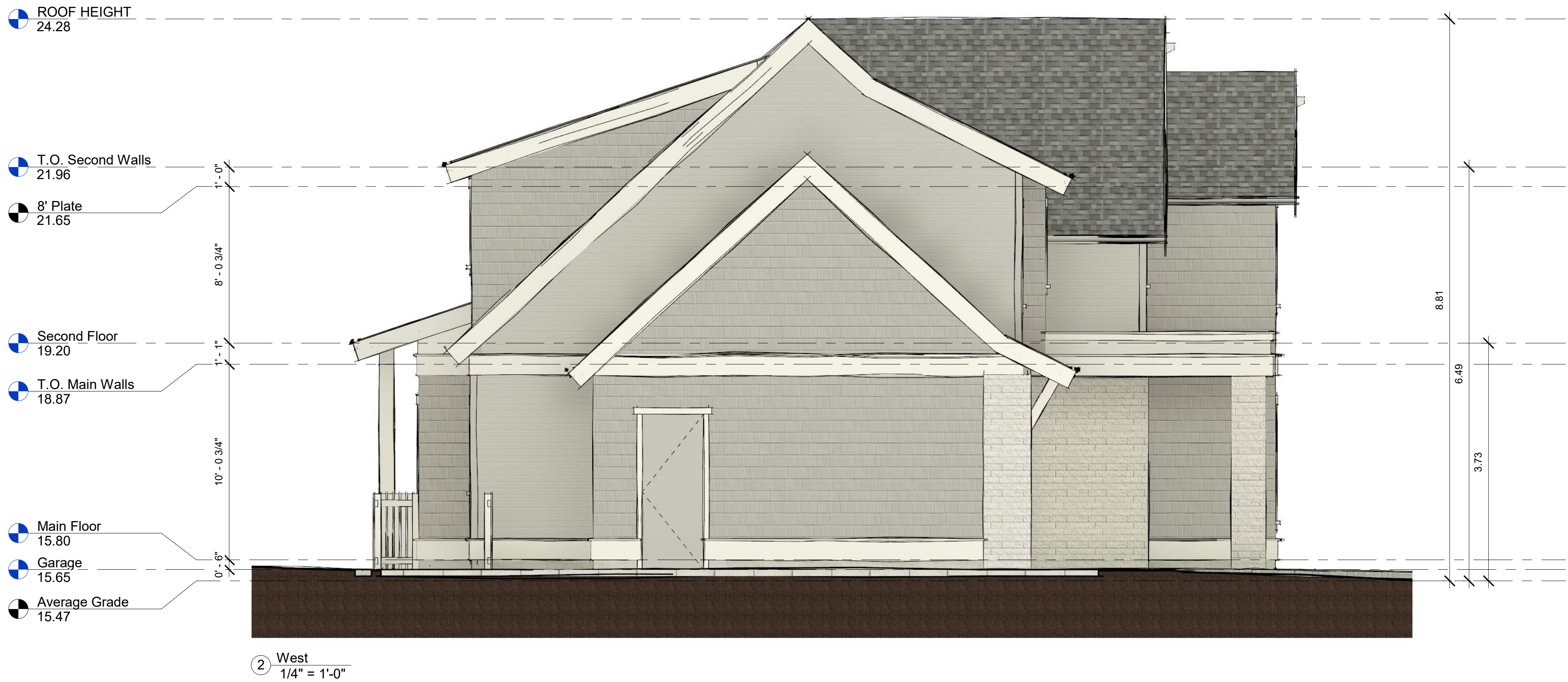
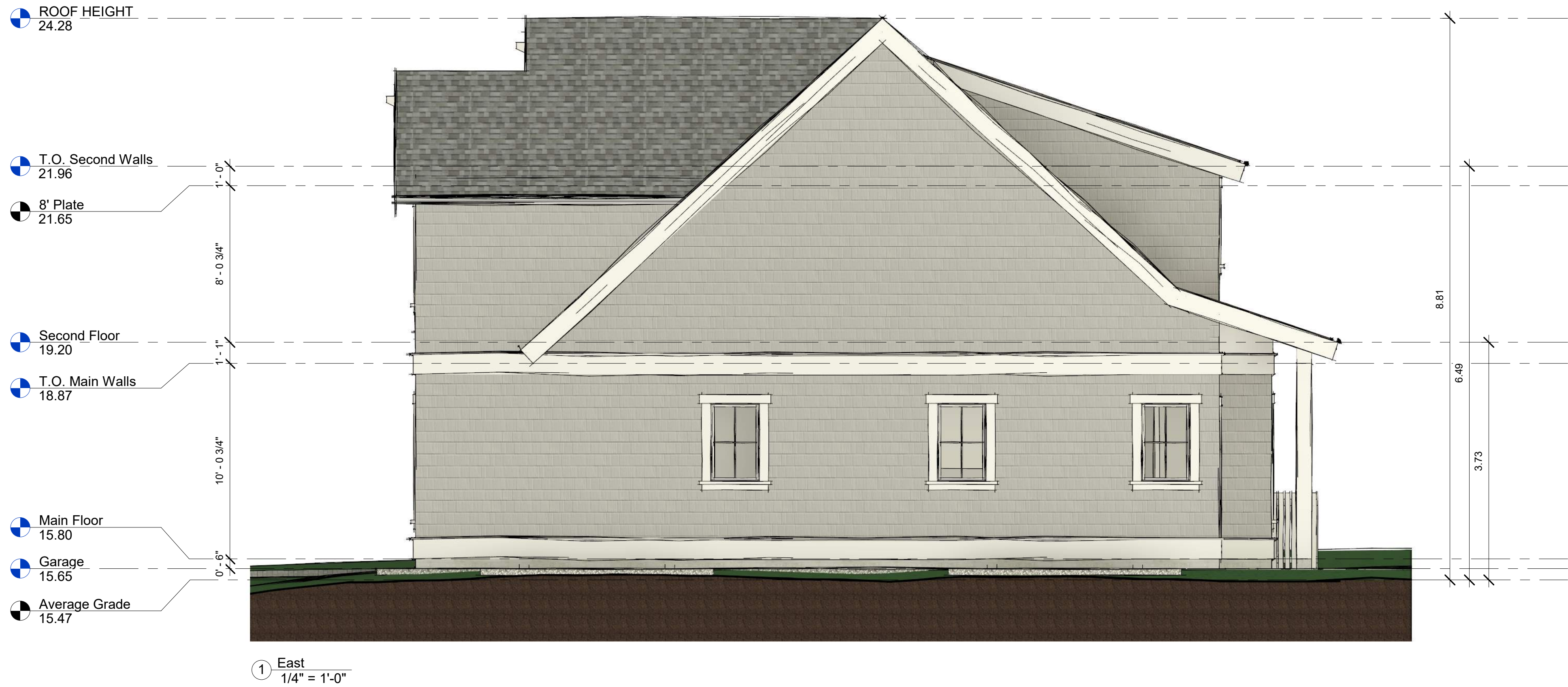
PLAN LEGEND	
WALL	
ROOF OVER	
FLOOR OVER	
DECK OVER	
WALL BELOW	
POST	
FLUSH BEAM OVER	
DROP BEAM OVER	
GIRDER TRUSS OVER	
S/C DETECTOR	
DOOR SIZE	
WINDOW SIZE	
JOIST SPAN DIRECTION	
LINE OF INTERIOR VAULT	

EXTERIOR FINISH & COLOURS	
ACCENT (BENJAMIN MOORE - 776) "SANTA MONICA BLUE"	
TRIM (BENJAMIN MOORE - CSP-305) "CRISP"	
FIBRE CEMENT LAP SIDING (BENJAMIN MOORE - CSP-5) "PERSPECTIVE"	
WALL SHINGLE - SEMI-TRANSPARENT (BENJAMIN MOORE - HC-169) "COVENTRY GRAY"	
STONE VENEER - STACKED LIMESTONE	
ROOF SHINGLE - (OWENS CORNING - TRUDEFINITION) "QUARRY GRAY"	
METAL ROOF - (WESTFORM - "METRO BROWN"	

FLOOR AREA	
BASEMENT:	1091 SF
MAIN FLOOR:	1110 SF
SECOND FLOOR:	1158 SF
TOTAL LIVING SPACE:	3359 SF
GARAGE:	484 SF
TOTAL BUILDING SF:	3843 SF

DRAWING SCALE: 1/4" " = 1' - 0" ALL MEASUREMENTS ARE IN FEET

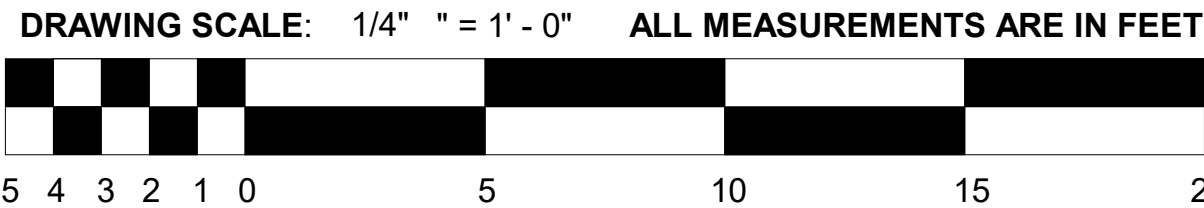




PLAN LEGEND	
WALL	
ROOF OVER	
FLOOR OVER	
DECK OVER	
WALL BELOW	
POST	
FLUSH BEAM OVER	
DROP BEAM OVER	
GIRDER TRUSS OVER	
S/C DETECTOR	
DOOR SIZE	
WINDOW SIZE	
JOIST SPAN DIRECTION	
LINE OF INTERIOR VAULT	

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PROJECT

2072 Hampshire Road - Lot 1

202202

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Date:	Description:	No.:					
		1	2	3	4	5	6
22Mar16	Concept 1						
22Mar25	Site Concept REV1						
22Apr01	Site Concept REV2						
22Apr27	Site Concept REV3						
22May11	Concept 2						
22June30	Concept 3						

Elevations

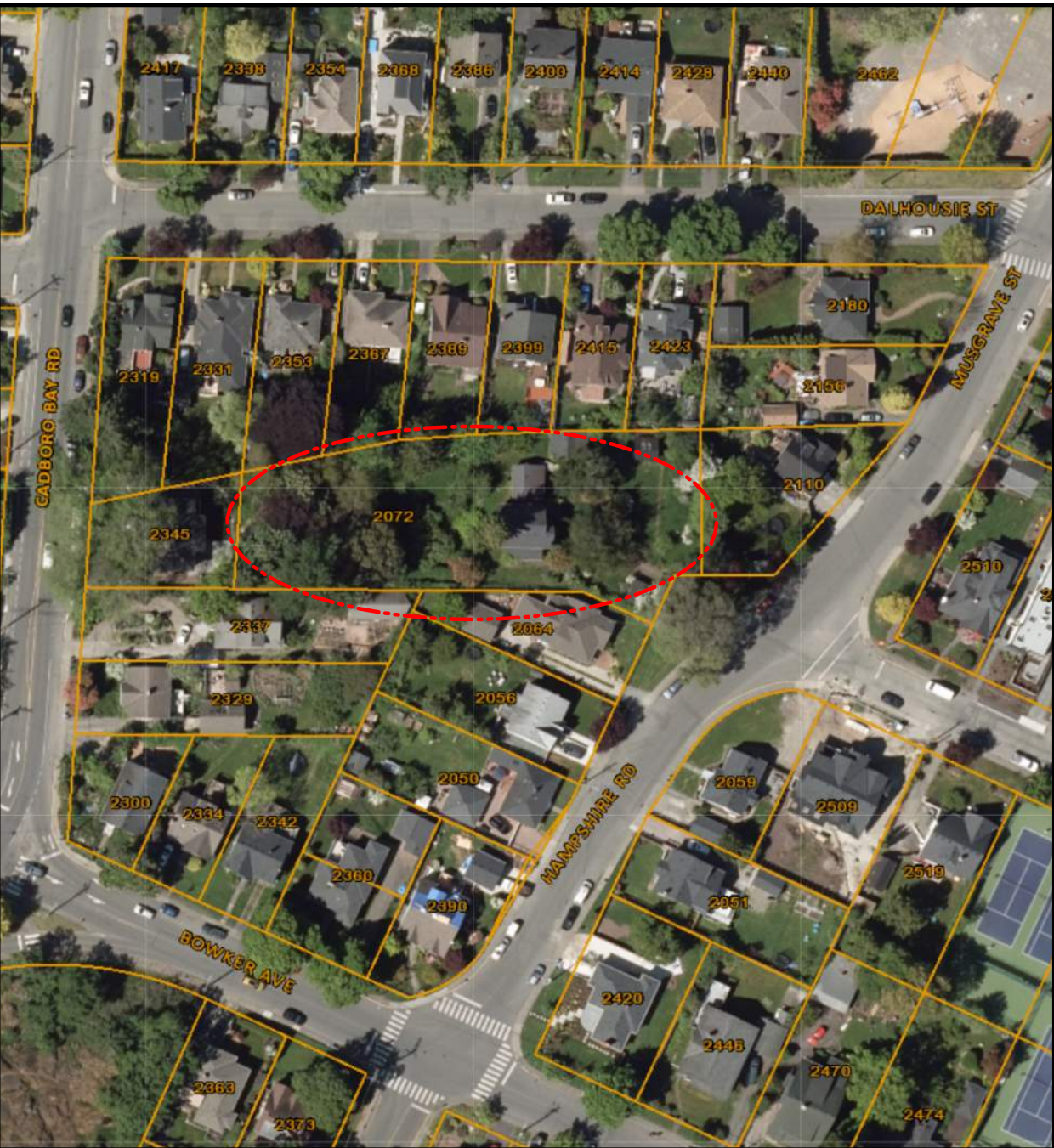
A2.2

NEW CUSTOM HOME:

Lot 2 Hampshire

OAK BAY, BC

KEY PLAN:



RS-5 ZONING ANALYSIS:

LOT AREA:	638.6m2	
FLOOR ELEVATIONS:	BASEMENT:	13.11m
	MAIN FLOOR:	16.20m
	SECOND FLOOR:	19.29m
	GARAGE SLAB:	16.05m
AVERAGE GRADE:	16.02m	
F.S.R:	ALLOWABLE	PROPOSED
	0.40 (255.4m2)	0.39 (253.5m2)
GROSS FLOOR AREA:	ALLOWABLE	PROPOSED
	BASEMENT:	(100.0% EXEMPT)
	GARAGE:	(22.0m2 EXEMPT)
	MAIN FLOOR:	(15.0m2 EXEMPT)
	VERANDA:	(1.8m2 EXEMPT)
	COVERED PATIO (REAR):	(1.8m2 EXEMPT)
	SECOND FLOOR:	(1.8m2 EXEMPT)
TOTAL:	260.2m2	253.5m2
LOT COVERAGE:	ALLOWABLE	PROPOSED
HOUSE:	30.0% (191.6m2)	28.3% (180.6m2)
HEIGHT:	ALLOWABLE	PROPOSED
	OCCUPIABLE HEIGHT:	4.57m
	BUILDING HEIGHT:	7.32m
	ROOF HEIGHT:	9.14m
SETBACKS:	ALLOWABLE	PROPOSED
	FRONT (S):	7.62m
	REAR (N):	7.62m
	SIDE (E):	1.52m 4.57m
	SIDE (W):	1.52m 4.57m
	SECOND FLOOR SIDE (E):	3.00m
	SECOND FLOOR SIDE (W):	3.00m

PROJECT INFORMATION:

SITE ADDRESS: 2072 HAMPSHIRE ROAD,
OAK BAY, BC.
LOT A, SECTION 61,
VICTORIA DISTRICT, PLAN
EPP28842

SCOPE OF WORK:

CONSTRUCTION OF A NEW SINGLE FAMILY DWELLING

PROJECT DIRECTORY:

DESIGNER: HOYT DESIGN CO.
250.999.9893
HELLO@HOYT.CO

GENERAL CONTRACTOR: TBD

STRUCTURAL ENGINEER: TBD

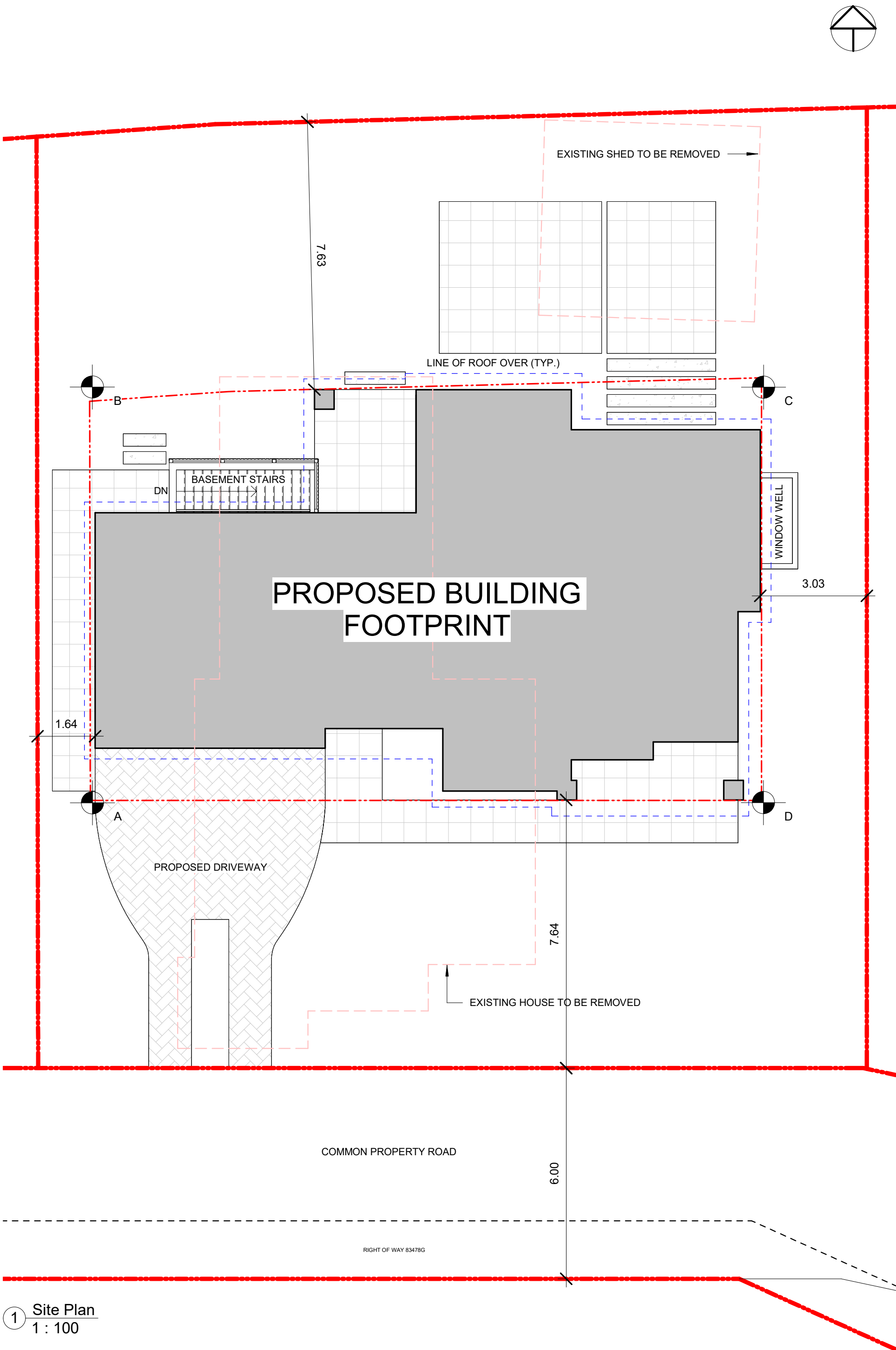
SURVEYOR: MCELHANNEY
250.370.9221

SHEET INDEX:

A0.0	SITE PLAN & ZONING ANALYSIS
A1.1	SITE PLAN
A1.2	FLOOR PLANS
A2.1	ELEVATIONS
A2.2	ELEVATIONS

REAR YARD HARD SURFACE CALCULATION	
AREA OF REAR YARD:	180.3m
PERCENTAGE OF HARD SURFACE ALLOWABLE:	25.0%
AREA OF HARD SURFACE ALLOWABLE:	45.1m2
AREA OF HARD SURFACE PROPOSED:	34.8m2
PERCENTAGE OF HARD SURFACE PROPOSED:	19.3%

FRONT YARD HARD SURFACE CALCULATION	
AREA OF FRONT YARD:	179.9m
PERCENTAGE OF HARD SURFACE ALLOWABLE:	25.0%
AREA OF HARD SURFACE ALLOWABLE:	45.0m2
AREA OF HARD SURFACE PROPOSED:	45.0m2
PERCENTAGE OF HARD SURFACE PROPOSED:	25.0%



1 Site Plan
1: 100

AVERAGE GRADE CALC.	
POINT	ELEVATION (NATURAL)
A	16.17m
B	16.04m
C	16.01m
D	15.84m
TOTAL	64.06 / 4 = 16.02m



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Victoria, BC V8Y 2L3
250.999.9893
hello@hoyt.co | www.hoyt.co

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PROJECT

2072 Hampshire Road - Lot 2

202205

ISSUE DATE: 22June30 REV 6

Date:	Description:	No.:					
		1	2	3	4	5	6
22Mar16	Concept 1						
22Mar25	Site Concept REV1						
22Apr01	Site Concept REV2						
22Apr27	Site Concept REV3						
22May11	Concept 2						
22June30	Concept 3						

Site Plan & Zoning Analysis

A0.0

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PROJECT

2072 Hampshire
Road - Lot 2
202205

ISSUE DATE: 22June30 REV 6

No.:	1	2	3	4	5	6
Description:	Concept 1	Site Concept REV1	Site Concept REV2	Site Concept REV3	Concept 2	Concept 3
Date:	22Mar16	22Mar25	22Apr01	22Apr27	22May11	22June30

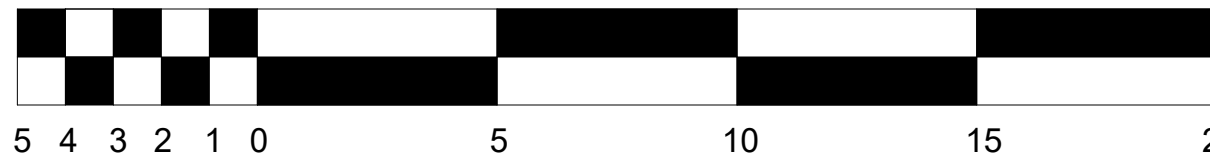
Elevations

A2.1



FLOOR AREA	
BASEMENT:	1182 SF
MAIN FLOOR:	1191 SF
SECOND FLOOR:	1213 SF
TOTAL LIVING SPACE:	3586 SF
GARAGE:	473 SF
TOTAL BUILDING SF:	4059 SF

DRAWING SCALE: 1/4" " = 1' - 0" ALL MEASUREMENTS ARE IN FEET





PLAN LEGEND	
WALL	
ROOF OVER	
FLOOR OVER	
DECK OVER	
WALL BELOW	
POST	
FLUSH BEAM OVER	
DROP BEAM OVER	
GIRDER TRUSS OVER	
S/C DETECTOR	
DOOR SIZE	
WINDOW SIZE	
JOIST SPAN DIRECTION	
LINE OF INTERIOR VAULT	

EXTERIOR FINISH & COLOURS	
WOOD STAIN (BENJAMIN MOORE - ES-44) "SOLID SPANISH MOSS"	
TRIM (BENJAMIN MOORE - CSP-60) "CITY SHADOW"	
ACRYLLIC STUCCO (BENJAMIN MOORE - 927) "WHITE SWAN"	
FIBRE CEMENT LAP SIDING (BENJAMIN MOORE - CSP-120) "BURNT EMBER"	
STONE VENEER - STACKED LIMESTONE	
FAUX SLATE ROOFING TILE: (INTERLOCK ROOFING) "DEEP CHARCOAL"	

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PROJECT

2072 Hampshire Road - Lot 2

202205

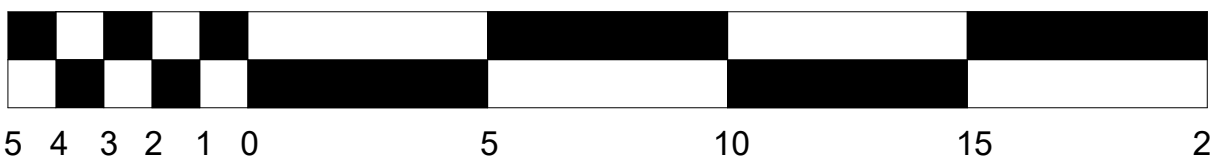
ISSUE DATE: 22June30 REV 6

Date:	Description:	No.:					
		1	2	3	4	5	6
22Mar16	Concept 1						
22Mar25	Site Concept REV1						
22Apr01	Site Concept REV2						
22Apr27	Site Concept REV3						
22May11	Concept 2						
22June30	Concept 3						

Elevations

FLOOR AREA	
BASEMENT:	1182 SF
MAIN FLOOR:	1191 SF
SECOND FLOOR:	1213 SF
TOTAL LIVING SPACE:	3586 SF
GARAGE:	473 SF
TOTAL BUILDING SF:	4059 SF

DRAWING SCALE: 1/4" " = 1' - 0" ALL MEASUREMENTS ARE IN FEET

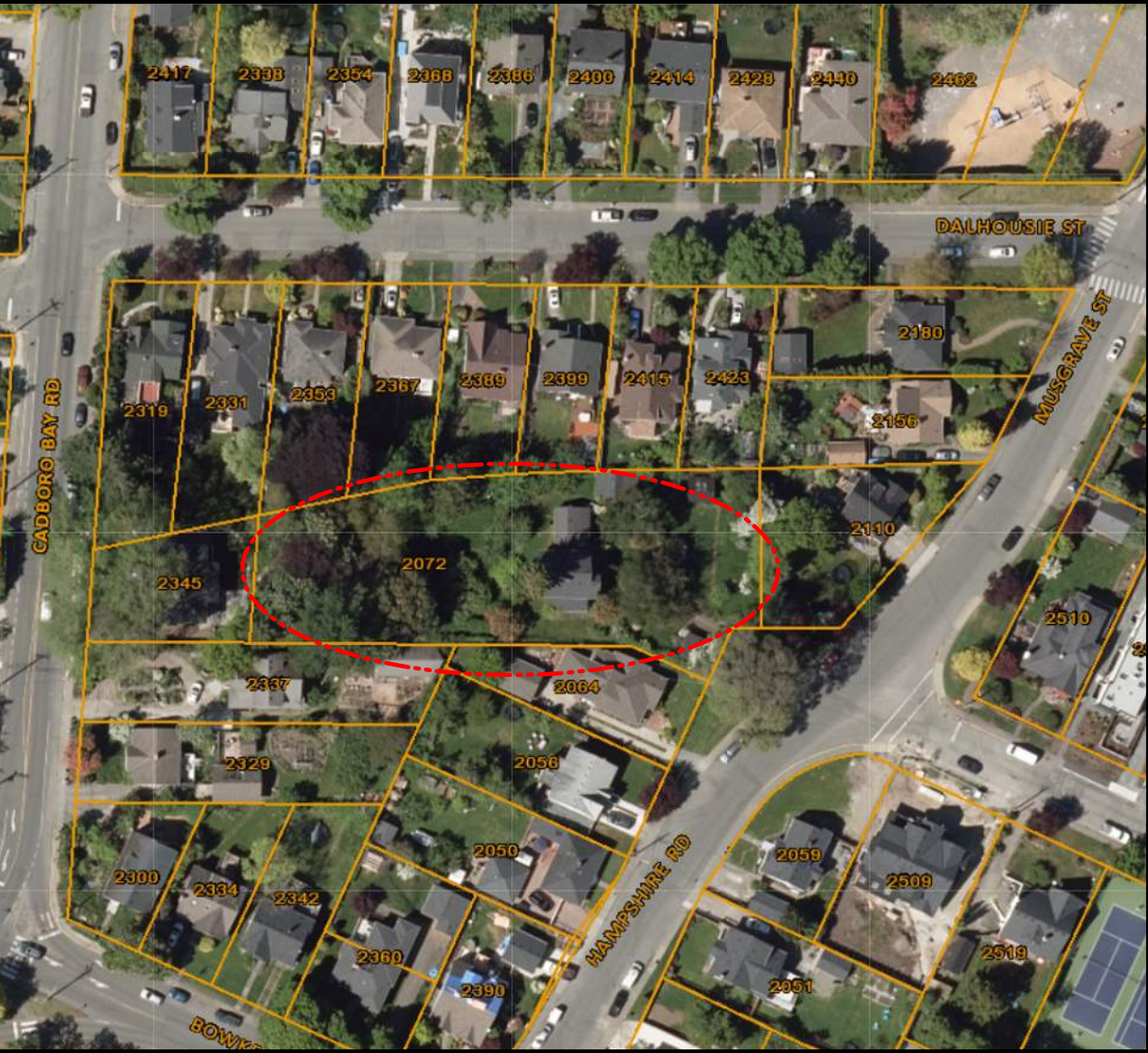


NEW CUSTOM HOME:

Lot 3 Hampshire

OAK BAY, BC

KEY PLAN:



RS-5 ZONING ANALYSIS:

LOT AREA:	709.0m2	
FLOOR ELEVATIONS:	BASEMENT:	12.61m
	MAIN FLOOR:	15.70m
	SECOND FLOOR:	18.79m
	ACCESSORY BUILDING SLAB:	15.55m
GRADES:	HOUSE:	15.61m
	ACC. BUILDING:	15.08m
F.S.R:	ALLOWABLE	PROPOSED
	0.40 (283.6m2)	0.34 (237.4m2)
GROSS FLOOR AREA:	ALLOWABLE	PROPOSED
	ACCESSORY BUILDING:	(22.0m2 EXEMPT)
	BASEMENT:	(100.0% EXEMPT)
	MAIN FLOOR:	104.5m2
	VERANDA:	12.6m2 (EXEMPT)
	COVERED BASEMENT ENTRY:	0.5m2 (2.3m2-1.8m2)
	SECOND FLOOR:	104.9m2
	TOTAL:	237.4m2
LOT COVERAGE:	ALLOWABLE	PROPOSED
	HOUSE:	18.1% (128.3m2)
	ACCESSORY BUILDING:	7.0% (49.6m2)
HEIGHT: HOUSE	ALLOWABLE	PROPOSED
	OCCUPIABLE HEIGHT:	4.57m
	BUILDING HEIGHT:	7.32m
HEIGHT: GARAGE	ALLOWABLE	PROPOSED
	OCCUPIABLE HEIGHT:	0.25m
	BUILDING HEIGHT:	3.00m
SETBACKS: HOUSE	ALLOWABLE	PROPOSED
	FRONT (S):	7.62m
	REAR (N):	7.62m
SETBACKS: GARAGE	ALLOWABLE	PROPOSED
	FRONT (S):	7.62m
	REAR (N):	0.61m

PROJECT INFORMATION:

SITE ADDRESS: 2072 HAMPSHIRE ROAD, OAK BAY, BC.
LOT A, SECTION 61, VICTORIA DISTRICT, PLAN EPP28842

SCOPE OF WORK:

CONSTRUCTION OF A NEW SINGLE FAMILY DWELLING

PROJECT DIRECTORY:

DESIGNER: HOYT DESIGN CO.
250.999.9893
HELLO@HOYT.CO

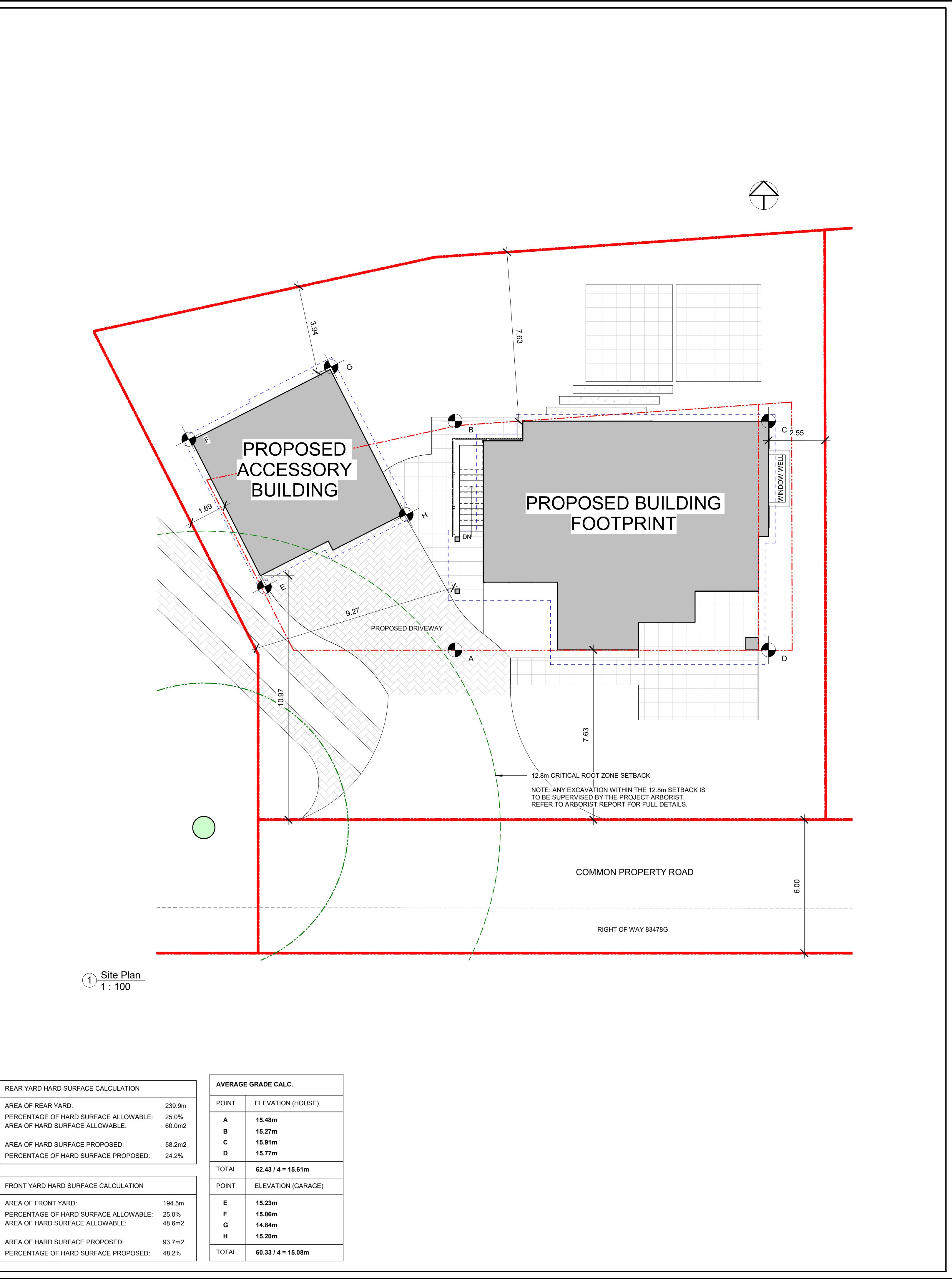
GENERAL CONTRACTOR: TBD

STRUCTURAL ENGINEER: TBD

SURVEYOR: MCELHANNEY
250.370.9221

SHEET INDEX:

A0.0	SITE PLAN & ZONING ANALYSIS
A1.1	SITE PLAN
A1.2	FLOOR PLANS
A2.1	ELEVATIONS
A2.2	ELEVATIONS



REAR YARD HARD SURFACE CALCULATION		AVERAGE GRADE CALC.	
AREA OF REAR YARD:	239.9m	POINT	ELEVATION (HOUSE)
PERCENTAGE OF HARD SURFACE ALLOWABLE:	25.0%	A	15.48m
AREA OF HARD SURFACE ALLOWABLE:	60.0m2	B	15.27m
AREA OF HARD SURFACE PROPOSED:	58.2m2	C	15.91m
PERCENTAGE OF HARD SURFACE PROPOSED:	24.2%	D	15.77m
FRONT YARD HARD SURFACE CALCULATION		TOTAL	62.43 / 4 = 15.61m
AREA OF FRONT YARD:	194.5m	POINT	ELEVATION (GARAGE)
PERCENTAGE OF HARD SURFACE ALLOWABLE:	25.0%	E	15.23m
AREA OF HARD SURFACE ALLOWABLE:	48.6m2	F	15.06m
AREA OF HARD SURFACE PROPOSED:	93.7m2	G	14.84m
PERCENTAGE OF HARD SURFACE PROPOSED:	48.2%	H	15.20m
		TOTAL	60.33 / 4 = 15.08m

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PROJECT

2072 Hampshire Road - Lot 3

202206

ISSUE DATE: 22June30 REV 6

Date:	Description:	No.:					
		1	2	3	4	5	6
22Mar16	Concept 1						
22Mar25	Site Concept REV1						
22Apr01	Site Concept REV2						
22Apr27	Site Concept REV3						
22May11	Concept 2						
22June30	Concept 3						

Site Plan & Zoning Analysis

A0.0

T.O. Roof
24.59

T.O. Second Walls
21.55

Second Floor
18.79

T.O. Main Walls
18.46

Main Floor
15.70

Average Grade
15.61

① South - Front
1/4" = 1'-0"

T.O. Roof
24.59

T.O. Second Walls
21.55

Second Floor
18.79

T.O. Main Walls
18.46

Main Floor
15.70

Average Grade
15.61

② North
1/4" = 1'-0"

PLAN LEGEND	
WALL	
ROOF OVER	
FLOOR OVER	
DECK OVER	
WALL BELOW	
POST	
FLUSH BEAM OVER	
DROP BEAM OVER	
GIRDER TRUSS OVER	
S/C DETECTOR	
DOOR SIZE	
WINDOW SIZE	
JOIST SPAN DIRECTION	
LINE OF INTERIOR VAULT	

EXTERIOR FINISH & COLOURS	
TRIM (BENJAMIN MOORE - CSP 140) "CHATEAU"	
FIBRE CEMENT LAP SIDING (BENJAMIN MOORE - CSP 175) "KID GLOVES"	
WALL SHINGLE - SEMI-TRANSPARENT (BENJAMIN MOORE - CW-715) "BONE BLACK"	
STONE VENEER - STACKED LIMESTONE	
ROOF SHINGLE - (OWENS CORNING - TRUDEFINITION) "QUARRY GRAY"	
METAL ROOF - (WESTFORM) "METRO BROWN"	



201-5325 Cordova Bay Road
Victoria, BC V8Y 2L3
250.999.9893
hello@hoyt.co | www.hoyt.co

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PROJECT

2072 Hampshire
Road - Lot 3
202206

ISSUE DATE: 22June30 REV 6

No.:	Description:	Date:
1	Concept 1	22Mar16
2	Site Concept REV1	22Mar25
3	Site Concept REV2	22Apr01
4	Site Concept REV3	22Apr27
5	Concept 2	22May11
6	Concept 3	22June30

Elevations

A2.1

DRAWING SCALE: 1/4" " = 1' - 0" ALL MEASUREMENTS ARE IN FEET



FLOOR AREA	
BASEMENT:	1125 SF
MAIN FLOOR:	1125 SF
SECOND FLOOR:	1129 SF
TOTAL LIVING SPACE:	3379 SF
GARAGE:	533 SF
TOTAL BUILDING SF:	3912 SF

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PROJECT

2072 Hampshire
Road - Lot 3
202206

ISSUE DATE: 22June30 REV 6

No.:	1	2	3	4	5	6
Description:	Concept 1	Site Concept REV1	Site Concept REV2	Site Concept REV3	Concept 2	Concept 3
Date:	22Mar16	22Mar25	22Apr01	22Apr27	22May11	22June30

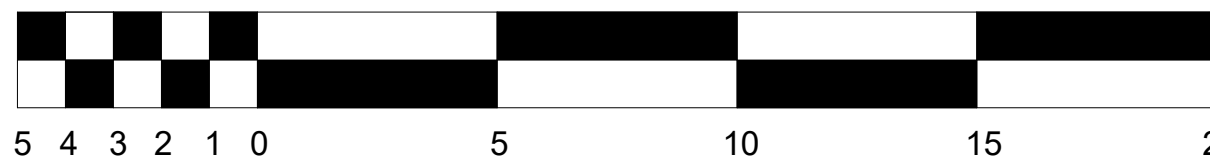
Elevations

A2.2



FLOOR AREA	
BASEMENT:	1125 SF
MAIN FLOOR:	1125 SF
SECOND FLOOR:	1129 SF
TOTAL LIVING SPACE:	3379 SF
GARAGE:	533 SF
TOTAL BUILDING SF:	3912 SF

DRAWING SCALE: 1/4" " = 1' - 0" ALL MEASUREMENTS ARE IN FEET

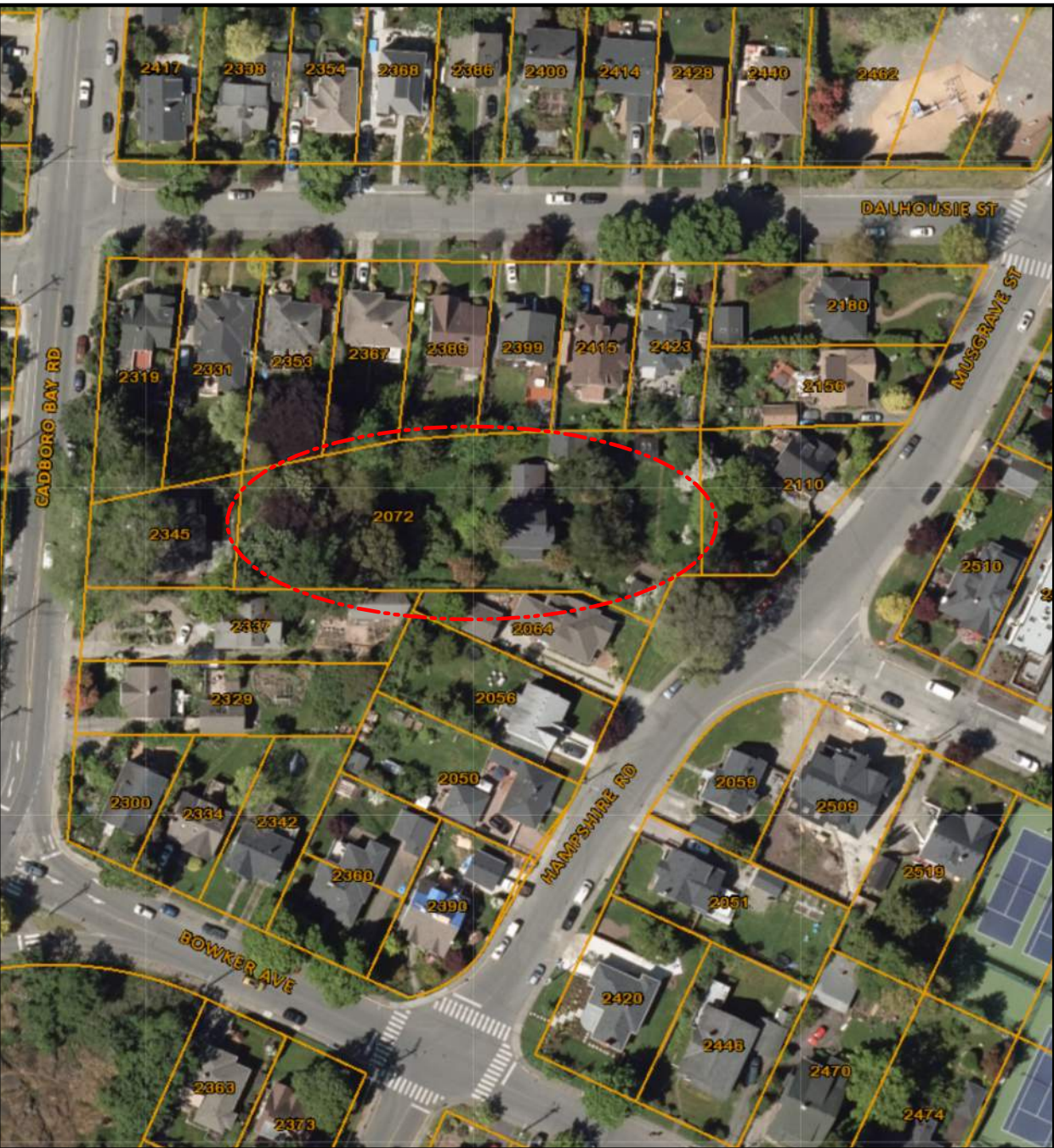


NEW CUSTOM HOME:

Lot 4 Hampshire

OAK BAY, BC

KEY PLAN:



RS-5 ZONING ANALYSIS:

LOT AREA:	634.9m2	
FLOOR ELEVATIONS:	BASEMENT:	12.36m
	MAIN FLOOR:	15.45m
	SECOND FLOOR:	18.54m
	GARAGE SLAB:	15.30m
GRADES:	HOUSE:	15.14m

F.S.R:	ALLOWABLE	PROPOSED
	0.40 (254.0m2)	0.36 (230.6m2)
GROSS FLOOR AREA:	ALLOWABLE	PROPOSED
	(22.0m2 EXEMPT)	19.0m2 (41.0m2-22.0m2)
GARAGE:	(100.0% EXEMPT)	89.2m2 (EXEMPT)
BASEMENT:		103.7m2
MAIN FLOOR:	(15.0m2 EXEMPT)	12.9m2 (EXEMPT)
VERANDA:	(1.8m2 EXEMPT)	1.2m2 (3.0m2-1.8m2)
COVERED BASEMENT ENTRY:		106.7m2
SECOND FLOOR:		230.6m2
TOTAL:	254.0m2	
LOT COVERAGE:	ALLOWABLE	PROPOSED
	30.0% (190.5m2)	26.0% (165.6m2)
HEIGHT: HOUSE	ALLOWABLE	PROPOSED
	4.57m	3.40m
OCCUPIABLE HEIGHT:	7.32m	6.16m
BUILDING HEIGHT:	9.14m	9.12m
ROOF HEIGHT:		
SETBACKS: HOUSE	ALLOWABLE	PROPOSED
	7.62m	7.64m
FRONT (E):	7.62m	7.62m
REAR (W):	3.00m	2.82m
SIDE (S):	1.52m	3.85m
SIDE (N):	3.00m	3.00m
SECOND FLOOR SIDE (S):	3.00m	3.00m
SECOND FLOOR SIDE (N):	3.00m	9.89m

PROJECT INFORMATION:

SITE ADDRESS:	2072 HAMPSHIRE ROAD, OAK BAY, BC.
	LOT A, SECTION 61, VICTORIA DISTRICT, PLAN EPP28842

SCOPE OF WORK:

CONSTRUCTION OF A NEW SINGLE FAMILY DWELLING

PROJECT DIRECTORY:

DESIGNER:	HOYT DESIGN CO. 250.999.9893 HELLO@HOYT.CO
GENERAL CONTRACTOR:	TBD
STRUCTURAL ENGINEER:	TBD
SURVEYOR:	MCELHANNEY 250.370.9221

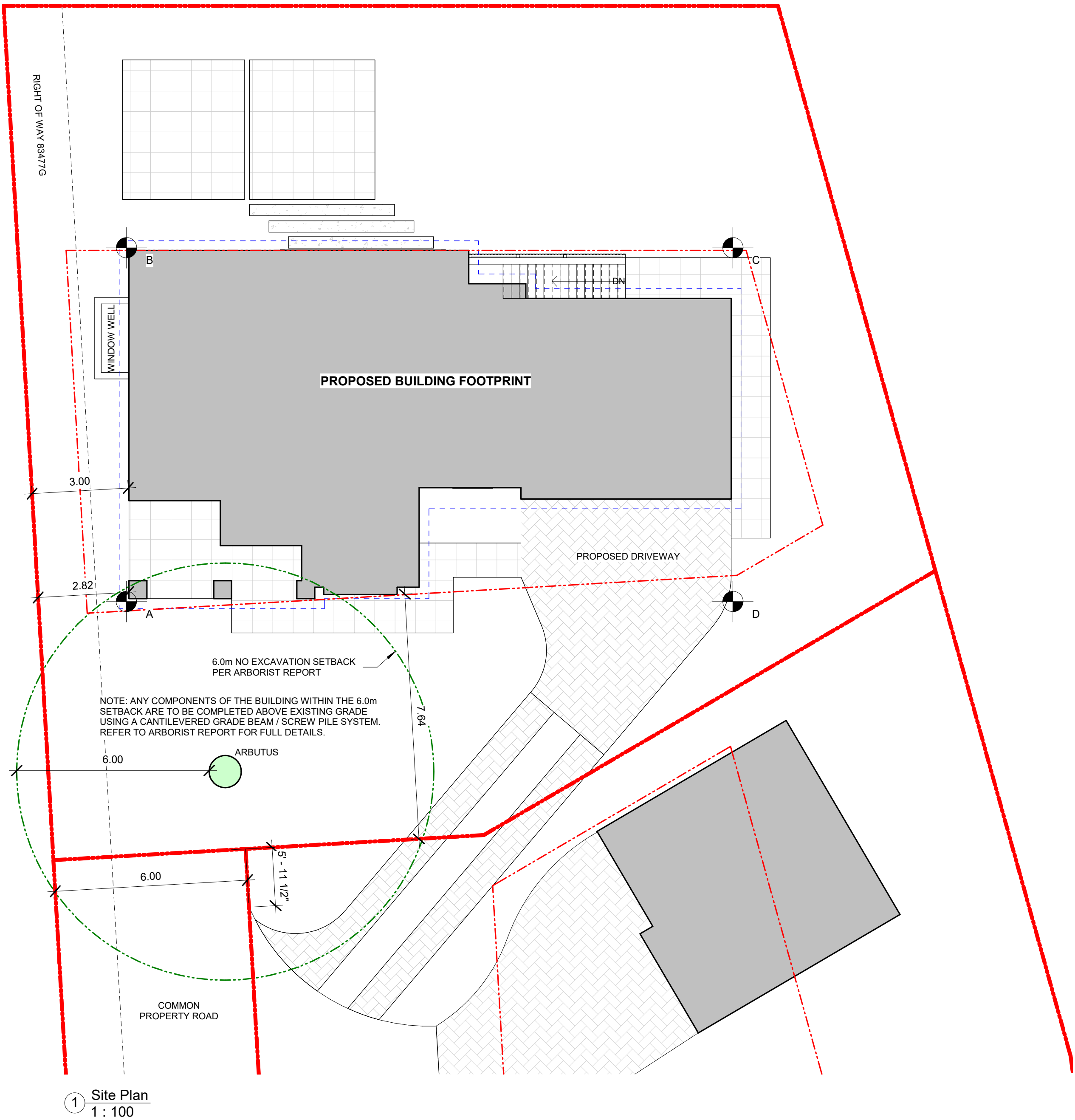
SHEET INDEX:

A0.0	SITE PLAN & ZONING ANALYSIS
A1.1	SITE PLAN
A1.2	FLOOR PLANS
A2.1	ELEVATIONS
A2.2	ELEVATIONS

REAR YARD HARD SURFACE CALCULATION	
AREA OF REAR YARD:	190.3m
PERCENTAGE OF HARD SURFACE ALLOWABLE:	25.0%
AREA OF HARD SURFACE ALLOWABLE:	47.6m2
AREA OF HARD SURFACE PROPOSED:	38.4m2
PERCENTAGE OF HARD SURFACE PROPOSED:	20.2%

FRONT YARD HARD SURFACE CALCULATION	
AREA OF FRONT YARD:	159.3m
PERCENTAGE OF HARD SURFACE ALLOWABLE:	25.0%
AREA OF HARD SURFACE ALLOWABLE:	39.8m2
AREA OF HARD SURFACE PROPOSED:	36.2m2
PERCENTAGE OF HARD SURFACE PROPOSED:	22.7%

AVERAGE GRADE CALC.	
POINT	ELEVATION (HOUSE)
A	15.13m
B	14.96m
C	15.36m
D	15.10m
TOTAL	60.55 / 4 = 15.14m



201-5325 Cordova Bay Road
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PROJECT

2072 Hampshire Road - Lot 4

202207

ISSUE DATE: 22June28 REV 6

No.:	Description:	Date:
1	Concept 1	22Mar16
2	Site Concept REV1	22Mar25
3	Site Concept REV2	22Apr01
4	Site Concept REV3	22Apr27
5	Concept 2	22May11
6	Concept 3	22June28

Site Plan & Zoning Analysis

A0.0

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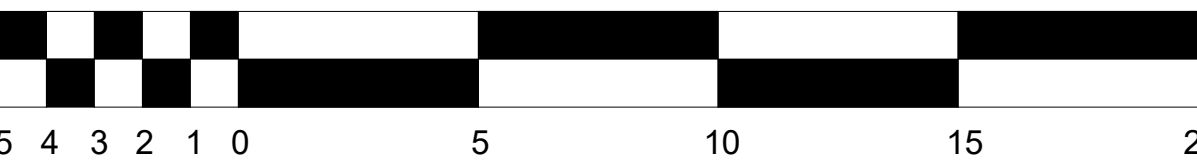
PLAN LEGEND	
WALL	
ROOF OVER	
FLOOR OVER	
DECK OVER	
WALL BELOW	
POST	
FLUSH BEAM OVER	
DROP BEAM OVER	
GIRDER TRUSS OVER	
S/C DETECTOR	
DOOR SIZE	
WINDOW SIZE	
JOIST SPAN DIRECTION	
LINE OF INTERIOR VAULT	

EXTERIOR FINISH & COLOURS	
WOOD STAIN (BENJAMIN MOORE - ES-44) "SOLID SPANISH MOSS"	
TRIM (BENJAMIN MOORE - CSP-305) "CRISP LINEN"	
FIBRE CEMENT LAP SIDING (BENJAMIN MOORE - 2121-30) "PEWTER"	
WALL SHINGLES (BENJAMIN MOORE - AC-25) "HARBOR GRAY"	
ROOF SHINGLE (OWENS CORNING - TRUDEFINITION) "QUARRY ROCK"	
METAL ROOF (WESTFORM) "DARK BROWN"	



FLOOR AREA	
BASEMENT:	960 SF
MAIN FLOOR:	1117 SF
SECOND FLOOR:	1148 SF
TOTAL LIVING SPACE:	3225 SF
GARAGE:	441 SF
TOTAL BUILDING SF:	3666 SF

DRAWING SCALE: 1/4" " = 1' - 0" ALL MEASUREMENTS ARE IN FEET



PROJECT

**2072 Hampshire
Road - Lot 4**

202207

ISSUE DATE: 22June28 REV 6

No.:	Description:	Date:
1	Concept 1	22Mar16
2	Site Concept REV1	22Mar25
3	Site Concept REV2	22Apr01
4	Site Concept REV3	22Apr27
5	Concept 2	22May11
6	Concept 3	22June28

Elevations

A2.1

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PROJECT

2072 Hampshire
Road - Lot 4

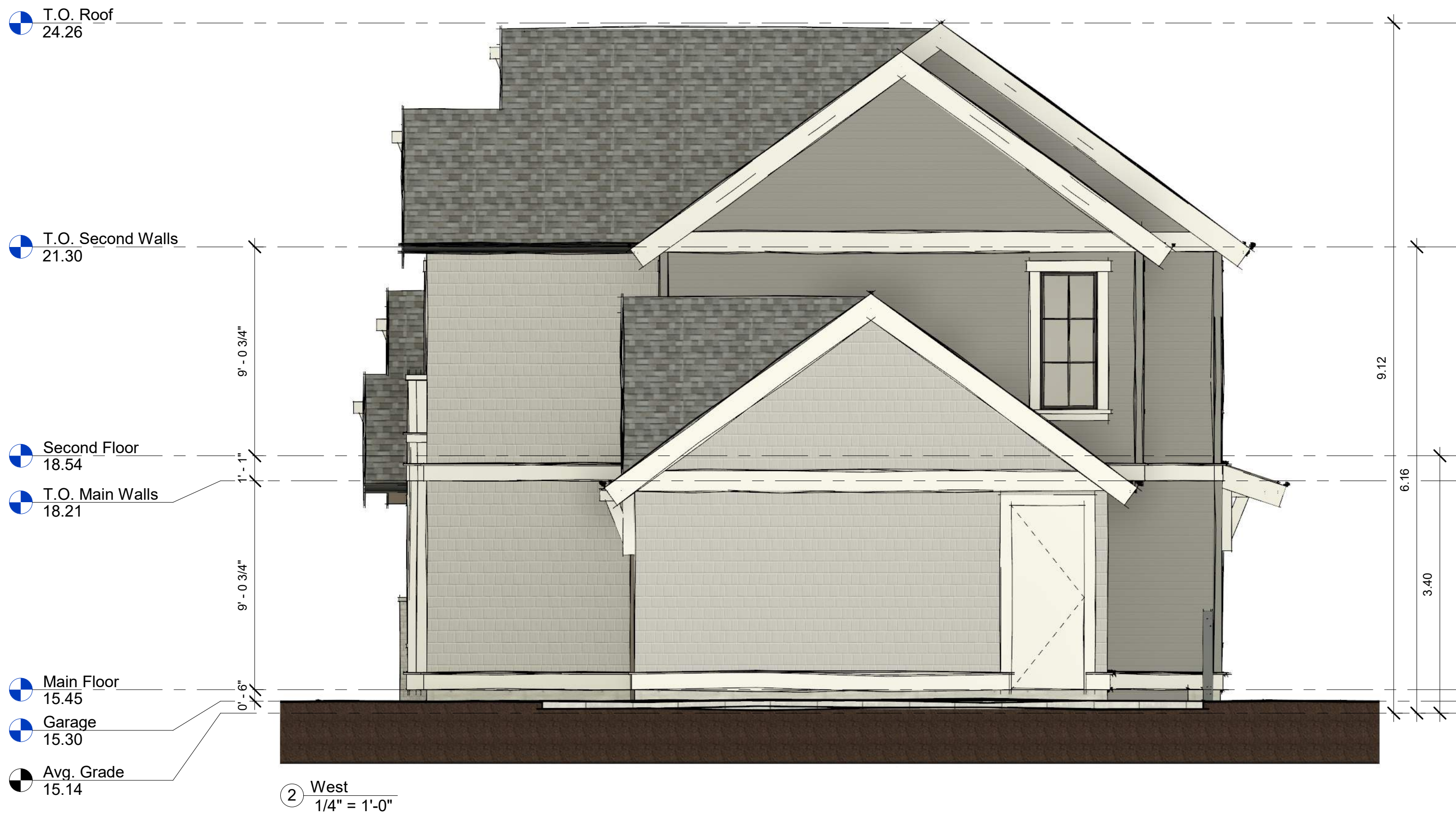
202207

ISSUE DATE: 22June28 REV 6

No.:	1	2	3	4	5	6
Description:	Concept 1	Site Concept REV1	Site Concept REV2	Site Concept REV3	Concept 2	Concept 3
Date:	22Mar16	22Mar25	22Apr01	22Apr27	22May11	22June28

Elevations

A2.2



FLOOR AREA	
BASEMENT:	960 SF
MAIN FLOOR:	1117 SF
SECOND FLOOR:	1148 SF
TOTAL LIVING SPACE:	3225 SF
GARAGE:	441 SF
TOTAL BUILDING SF:	3666 SF

DRAWING SCALE: 1/4" " = 1' - 0" ALL MEASUREMENTS ARE IN FEET

