

GENERAL NOTES

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ALL MATERIALS AND CONSTRUCTION METHODS TO CONFORM TO THE CURRENT EDITION OF THE BRITISH COLUMBIA BUILDING CODE (BCBC), GOOD CONSTRUCTION PRACTICE, AS WELL AS ANY OTHER LOCAL BUILDING CODES OR BYLAWS WHICH MAY TAKE PRECEDENCE

ALL MEASUREMENTS TO BE VERIFIED ON SITE BY BUILDER PRIOR TO CONSTRUCTION. COMMENCEMENT OF CONSTRUCTION OR ANY PART THEREOF CONSTITUTES ACCEPTANCE OF THE DRAWINGS/SITE CONDITIONS AND MEANS DIMENSIONS & ELEVATIONS HAVE BEEN VERIFIED & ARE ACCEPTABLE

IF ANY DISCREPANCIES ARISE, THEY SHOULD BE REPORTED TO THE DESIGNER

DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE

FRAMING LUMBER SHALL BE GRADED #2 OR BETTER UNLESS OTHERWISE SPECIFIED

ALL INTERIOR FINISHES, CASINGS, WINDOW TYPES AND MILLWORK TO OWNERS APPROVAL

STAIR TREADS TO BE PLYWOOD OR OTHER ENGINEERED PRODUCT AND SECURED WITH SCREWS AND SUB-FLOOR ADHESIVE

TEMPORARY HEAT REQUIRED PRIOR TO DRYWALL INSTALLATION TO ASSIST IN DRYING OF FRAMEWORK. MOISTURE CONTENT OF FRAMEWORK MUST NOT EXCEED 19%

SITE PLAN

LAYOUT TO BE CONFIRMED BY A CURRENTLY REGISTERED BRITISH COLUMBIA LEGAL LAND SURVEYOR

ALL SET BACKS TO BE CONFIRMED BY THE OWNER AND BUILDER

ALL GRADE ELEVATIONS ARE THE RESPONSIBILITY OF THE OWNER AND BUILDER

VERIFY EXISTING AND PROPOSED GRADES PRIOR TO CONSTRUCTION

FOUNDATION

THE BUILDER IS RESPONSIBLE FOR LOCATING THE FOOT PRINT OF THE STRUCTURE IN THE PROPER PLACE AS PER PLANS

CONCRETE FOUNDATION WALLS NOT SUBJECT TO SURCHARGE SHALL BE INSTALLED ON COMPACTED, UNDISTURBED, INORGANIC STABLE SOILS BELOW THE DEPTH OF FROST PENETRATION WITH AN ALLOWABLE BEARING PRESSURE OF 75 kPa OR GREATER. IF SOFTER CONDITIONS APPLY, THE BEARING CAPACITY AND SIZE OF FOOTINGS ARE TO BE DESIGNED BY A QUALIFIED ENGINEER

THE SILL PLATE IS TO BE FASTENED TO THE FOUNDATION WALL WITH NOT LESS THAN 12.7mm Ø ANCHOR BOLTS SPACED NOT MORE THAN 2.4m O.C. OR FOR BRACED WALL PANELS 2 15mm Ø ANCHOR BOLTS PER BRACED WALL PANEL 500mm FROM THE ENDS OF THE FOUNDATION AND SPACED 1.7m O.C. EMBEDDED 100mm DEEP

ALL LUMBER IN CONTACT WITH CONCRETE SHALL BE TREATED OR PROTECTED BY A MOISTURE RESISTANT GASKET

IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO HAVE SITE SOIL CONDITIONS INSPECTED AND ADVISE THE DESIGNER OF ANY SOIL CONDITIONS WHICH MAY REQUIRE ENGINEERING

ALL FOUNDATION WALLS ARE 200mm THICK 20MPa CONCRETE UNLESS OTHERWISE SPECIFIED

FOUNDATION WALLS MAY BE A MAXIMUM OF 4' HIGH FROM GRADE TO UNDERSIDE OF FLOOR IF Laterally UNSUPPORTED AT TOP. ALL OTHER CONCRETE FOUNDATION WALLS TO BE ENGINEERED

FRAMING

ALL ENGINEERED COMPONENTS TO BE SIZED BY SUPPLIER

ALL SPANS AND LOADINGS SHALL CONFORM TO THE CURRENT VERSION OF THE BCBC. VERIFICATION OF ALL COMPONENTS IS THE RESPONSIBILITY OF THE OWNER/BUILDER. ANY COMPONENTS WHICH CANNOT BE DESIGNED WITH THE BCBC SHALL BE DESIGNED BY A QUALIFIED ENGINEER

TRUSSES AND LAYOUT ARE TO BE ENGINEERED AND INSTALLED ACCORDING TO MANUFACTURERS SPECIFICATIONS

IT IS ASSUMED THAT THE CONTRACTOR IS FAMILIAR WITH THE BCBC AND INDUSTRY STANDARDS FOR WOOD FRAME CONSTRUCTION. NOT EVERY DETAIL OF WOOD FRAMING IS SHOWN ON THESE DRAWINGS

ALL LINTELS DOUBLE 2X10 S.S. SPF FOR CLEAR SPANS UP TO 5' UNLESS OTHERWISE NOTED

EXTERIOR WALL THICKNESS SHOWN ARE MEASURED FROM OUTSIDE OF EXTERIOR SHEATHING TO INSIDE OF DRYWALL

INTERIOR WALL THICKNESS SHOWN ARE MEASURED FROM OUTSIDE OF DRYWALL TO OUTSIDE OF DRYWALL

ROOM MEASUREMENTS SHOWN ARE TO THE NEAREST INCH. DIMENSIONS SHOWN ARE TO THE NEAREST 1/2"

CONFIRM ALL VANITY'S, BATHTUBS, SHOWERS AND KITCHEN CUPBOARDS WITH OWNER PRIOR TO FRAMING AS THESE MAY REQUIRE MODIFICATIONS TO THE ROOM SIZES

TYPICAL DOOR AND WINDOW HEADER HEIGHT"

8' CEILINGS: 6'8"
9' CEILINGS: 7'0"
10' CEILINGS: VARIES

ROOFING

ALL ROOFING SHALL BE APPLIED TO THE MANUFACTURERS SPECIFICATIONS AND SHALL INCLUDE EAVE PROTECTION FROM ICE DAMMING AND SNOW BUILD UP

PLUMBING AND ELECTRICAL

ANY PLUMBING AND ELECTRICAL SHOWN ON THESE PLANS IS FOR ILLUSTRATIONAL PURPOSES ONLY AND MUST BE DESIGNED AND INSTALLED BY A QUALIFIED PROFESSIONAL

FLASHING

ALL PENETRATIONS THROUGH THE ROOF WILL REQUIRE FLASHING.

ALL ROOFING TO INCLUDE STEP FLASHING.

ALL EXPOSED OPENINGS TO INCLUDE FLASHING

ALL FLASHING END DAMS TO BE 25mm (1") HIGH

DOORS

FRAME OPENING TO BE 1 1/4" WIDER THAN DOOR
FRAME HEIGHT 83" FOR EXTERIOR DOORS AND 82.5" FOR INTERIOR DOORS.
FRAME OPENING 1 1/4" WIDER THAN BIFOLD DOORS AND FRAME HEIGHT IS 81.5"
ALL INTERIOR DOORS TO BE 30" WIDE UNLESS OTHERWISE SPECIFIED

FENESTRATION

ALL WINDOWS, DOORS & SKYLIGHTS TO CONFORM TO NAFS-08 AND THE CANADIAN SUPPLEMENT TO NAFS

FENESTRATION PERFORMANCE REQUIREMENTS:
CLASS R - PG 30 - +VE/-VE DP = 1440Pa/1440Pa - WATER PENETRATION RESISTANCE = 260Pa - CANADIAN AIR INFILTRATION/EXFILTRATION = A2

WINDOW/DOOR LABELS TO BE LEFT IN PLACE UNTIL FINAL INSPECTION

SUPPLY AND INSTALL ALL WINDOW TYPES, INTERIOR CASINGS AND MILLWORK TO OWNERS APPROVAL

ALL WINDOWS ADJACENT TO BATH TUBS TO BE SAFETY GLASS

GUARDS/HANDRAILS

INSTALL GRASPABLE HANDRAIL TO ALL INTERIOR STAIRS AT 34" TO 38" ABOVE STAIR NOSING

INSTALL GUARDS AT ALL BALCONIES, DECKS AND PORCHES GREATER THAN 2' ABOVE GRADE .
INSTALL GUARD AT 42" HEIGHT WHERE SURFACE IS GREATER THAN 6' ABOVE ADJACENT SURFACE, OTHERWISE 36" GUARDRAIL ALLOWABLE

TOPLESS GLASS GUARDS TO BE ENGINEERED WITH SEALED DRAWINGS

VENTILATION

PROVIDE ATTIC AND CRAWLSPACE ACCESS AND VENTILATION IN ACCORDANCE WITH BCBC

PROVIDE HEATING, MECHANICAL VENTILATION, AND AIR CONDITIONING WHERE REQUIRED IN ACCORDANCE WITH BCBC AND LOCAL BYLAWS

MECHANICAL CONTRACTOR TO PROVIDE MECHANICAL CHECKLIST COMPLETE WITH FAN & DUCT SIZES PRIOR TO FRAMING INSPECTION

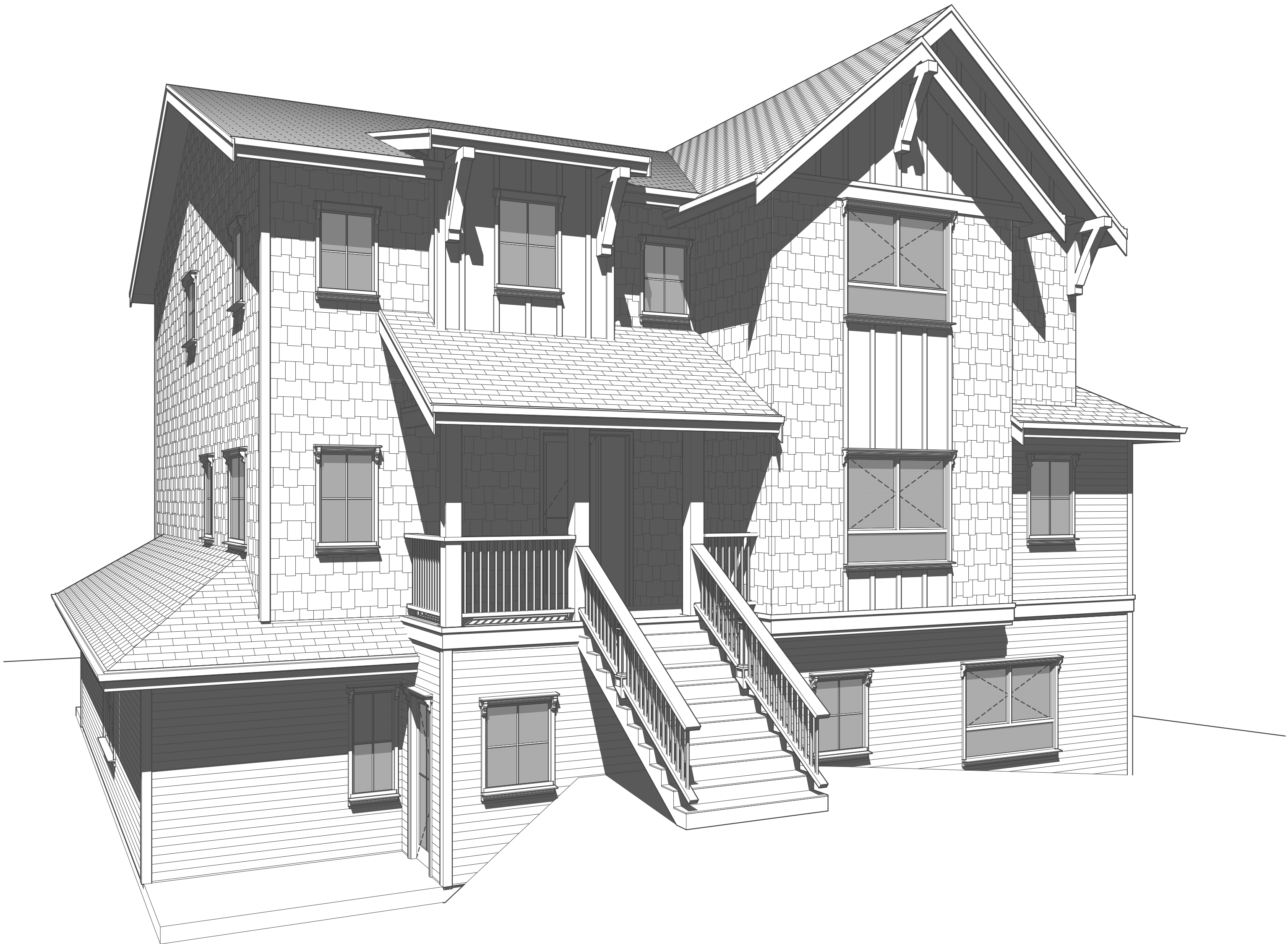
MISC.

SMOKE/CARBON MONOXIDE ALARMS TO BE PROVIDED ON EVERY FLOOR AND ARE TO BE HARDWIRED AND WITHIN 5m OF EACH BEDROOM IN EVERY SUITE AND INTERCONNECTED TO ALL FLOORS. SMOKE ALARMS TO ALSO BE PROVIDED IN EVERY BEDROOM. ALL SMOKE ALARM LOCATIONS WILL HAVE BOTH PHOTOELECTRIC AND IONIC DETECTION SYSTEMS

BEDROOM WINDOWS FOR EGRESS SHALL HAVE OPENINGS WITH AREAS NOT LESS THAN 3.8ft² WITH NO DIMENSION LESS THAN 15"

IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR OWNER TO CHECK AND VERIFY ALL ASPECTS OF THESE PLANS PRIOR TO START OF CONSTRUCTION OR DEMOLITION. ADAPT DESIGN DOES NOT ACCEPT RESPONSIBILITY FOR THE FOLLOWING:
-INFORMATION PROVIDED ON EXISTING BUILDINGS OR SITE
-CONFORMITY OF PLANS TO SITE
-ERRORS AND/OR OMISSIONS
-ANY HOUSE BUILT FROM THESE PLANS
THESE PLANS REMAIN THE PROPERTY OF ADAPT DESIGN AND CAN BE RECLAIMED AT ANY TIME

COMMENCEMENT OF CONSTRUCTION OR DEMOLITION MEANS THAT YOU HEREBY EXPRESSLY WAIVE AND RELEASE ANY AND ALL CLAIMS WHICH HAVE OR MAY IN FUTURE HAVE, AGAINST ADAPT DESIGN, AND ITS OFFICERS, DIRECTORS, EMPLOYEES, AGENTS, REPRESENTATIVES, AFFILIATES, SHAREHOLDERS, SUCCESSORS, AND ASSIGNS (COLLECTIVELY, "RELEASEES"), ON ACCOUNT OF ERRORS OR OMISSIONS ON THE DRAWINGS WHICH MAY RESULT IN CONSEQUENTIAL LOSS, INJURY, DAMAGE INCLUDING BUT NOT LIMITED TO LOSS OF PROFITS AND LOSS OF MARKETS. I COVENANT NOT TO MAKE OR BRING ANY SUCH CLAIM, INCLUDING CLAIMS OF NEGLIGENCE, AGAINST ADAPT DESIGN OR ANY OTHER RELEASEE, AND FOREVER RELEASE AND DISCHARGE ADAPT DESIGN AND ALL OTHER RELEASEES FROM LIABILITY UNDER SUCH CLAIMS.



PERSPECTIVE VIEW

Issued		
COVER SHEET & GENERAL INFO		
A-001	COVER SHEET	<input type="checkbox"/>
A-002	SITE PLAN	<input type="checkbox"/>
PLANS		
A-101	FOUNDATION FLOOR PLAN	<input type="checkbox"/>
A-102	BASEMENT FLOOR PLAN	<input type="checkbox"/>
A-103	MAIN FLOOR PLAN	<input type="checkbox"/>
A-104	UPPER FLOOR PLAN	<input type="checkbox"/>
A-105	ROOF PLAN	<input type="checkbox"/>
ELEVATIONS		
A-201	ELEVATIONS	<input type="checkbox"/>
A-202	ELEVATIONS	<input type="checkbox"/>
SECTIONS		
A-301	CROSS SECTIONS	<input type="checkbox"/>
DETAILS		
A-401	DETAILS	<input type="checkbox"/>



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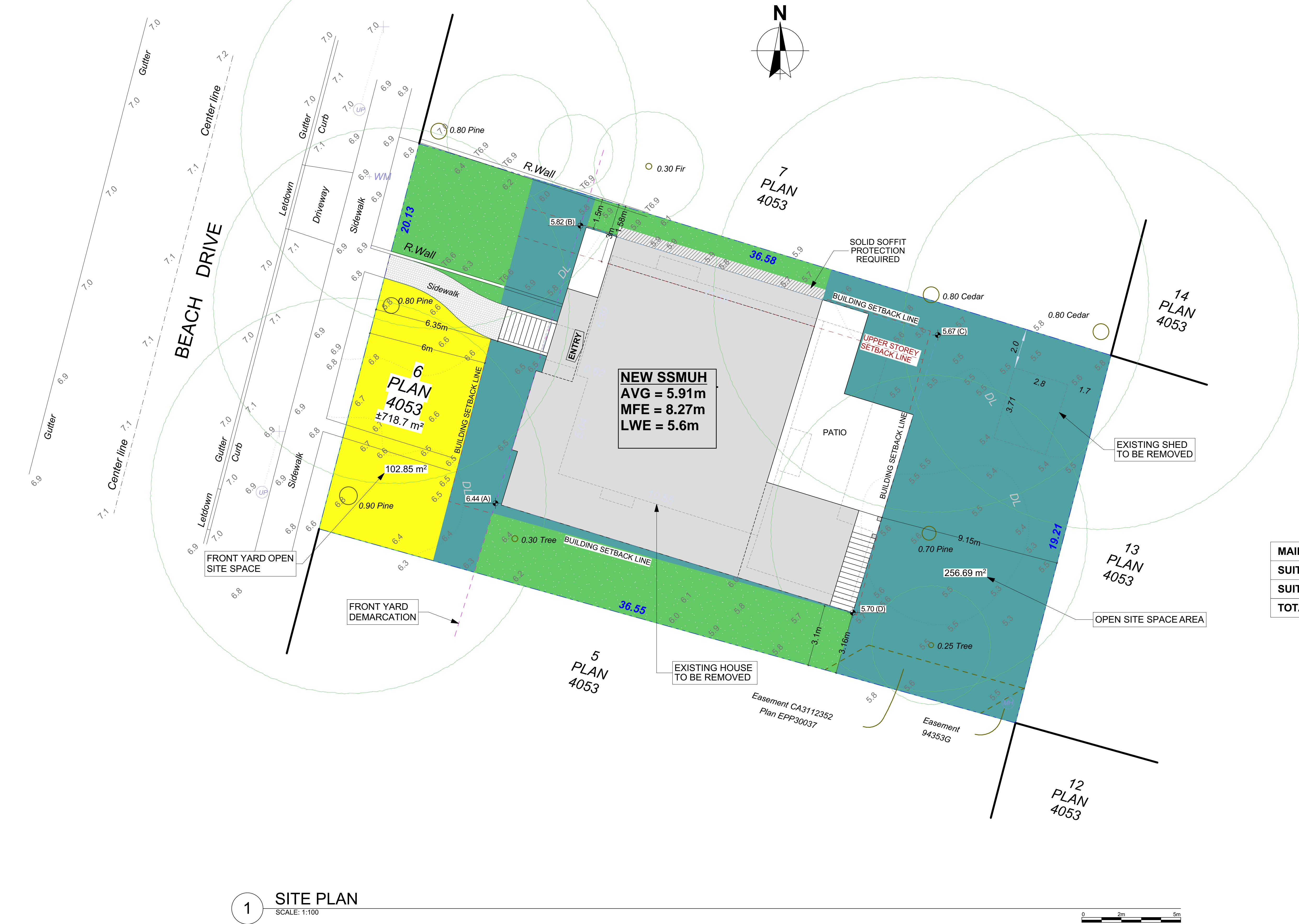
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COVER SHEET

A-001

PROJECT:
NEW SSMUH - 3 UNITS

AVERAGE GRADE
A = 6.44m
B = 5.82m
C = 5.67m
D = 5.70m
23.63m/4 = <u>5.91m</u>



Property Information		
Project Type: NEW SSMUH - 3 UNITS		
Site Address: 1949 Beach Drive		
Legal Description: Lot 6, Section 61, Victoria District, Plan 4053		
Zoning: R-5	Schedule G	
	<u>Zoning</u>	<u>Proposed</u>
Units	4	3
# of Buildings	2	1
<u>Setbacks:</u>		
Front	6.0m	6.35m
Rear	9.15m	9.15m
Left	1.5m	1.58m
Right	3.1m	3.16m
Combined Side	4.6m	4.74m
Upper Floor	3.0m	3.0m
Ext Side Setback	3m	N/A
Separation Space	4m	N/A
Roof Height	10.0m	9.64m
Building Height	8.5m	8.49m
Below Grade Height	1.2m	2.04m
Height within ocean	7.5m	N/A
Acc Bld Separation		N/A
<u>Floor Area:</u>		
Lower		202.83 m²
Main		156.97 m²
Upper		142.67 m²
Total		<u>502.47 m²</u>
FSR	0.8	0.7
Lot Area:		718.7 m²
Lot Type		Regular
Transit Proximity		No
Building Footprint:		215.0 m²
Lot Coverage:	30%	29.92%
Driveway Area		N/A
Open Site Space Area		256.69m²
Min. Open Site Space	10%	35.72%
Front Yard Area		171.69m²
Front Yard Paved Area		9.58m²
Min. FY O.S.S.	35%	59.9%

	LOWER FLOOR	MAIN FLOOR	UPPER FLOOR	TOTAL
MAIN UNIT	19.92 m²	156.97 m²	142.67 m²	319.56 m²
SUITE 1	134.49 m²	/	/	134.49 m²
SUITE 2	48.42 m²	/	/	48.42 m²
TOTAL	202.83 m²	156.97 m²	142.67 m²	502.47 m²

Applicable Codes
-BC Building Code Current Edition (2024)
Energy
Compliance path: BCBC 9.36 Requirements applicable to this project: Step Code 3
Ventilation
BCBC 9.32



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SITE PLAN

A-002

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Civil servicing - Sanitary sewer
Sanitary sewer invert approximately = 4.65m
Slab @ = 5.60m
100mm concrete slab = .1m
Pipe cover under slab = .1m
Assuming 150dia pipe = .15m
sani service pipe @ 1% = .36m
=> 5.60 - .1 - .1 - .15 - .36 = 4.89m
Therefore 4.89m - 4.65m = 0.24m < 0. therefore house can be serviced via gravity.
24m of leeway in pipe grading

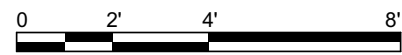
building height back check
Slab elevation = 5.6m
Slab+Basement height+I-beam
5.6 + 2.44 + .36 = 8.4m main floor
Main + Main height + I-beam
8.4m + 2.74 + .36m = 11.5 Upper floor
Upper floor+ Upper height + truss chord
11.5 + 2.44 + .36 (assumed) = 14.3m
R5 zone = 6.5.4.(3) Maximum Height and Storeys = 8.5m
Average grade = 5.91m + 8.5m = 14.41 - max allowable
14.3m < 14.41m
0.11m below allowable building height



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 LEFT ELEVATION
SCALE: 1/4" = 1'-0"



SPATIAL SEPARATION BCBC 9.10.15.4	
LIMITING DISTANCE	1.58m
EXPOSING BUILDING FACE	111.24m²
ALLOWABLE OPENINGS	7%
PROPOSED AREA	5.04m²
PROPOSED OPENINGS	4.53%

EXTERIOR CLADDING LEGEND	
1	CEMENT BOARD LAP SIDING PAINTED
2	HARDIESHINGLE PAINTED
3	CEMENT BOARD PANEL C/W 1X3 CFS BATTENS - PAINTED
4	ASPHALT ROOFING SHINGLES

ADDITIONAL EXTERIOR FINISHINGS	
GUTTERS	5" CONTINUOUS ALUMINUM (PREFINISHED) C/W 4"X1" ALUMINUM DOWNSPOUT (PREFINISHED)
SOCKET	VENTED ALUMINUM (PREFINISHED)
FASCIA	2X12 COMB FACED SPF (PAINTED)
WINDOW TRIM	2X4 COMB FACED SPF TOP/SIDES C/W 2X4 SLOPED SILL & 2X4 SUBSILL (PAINTED)
DOOR TRIM	2X4 COMB FACED SPF (PAINTED)
CORNER TRIM	1X4 COMB FACED SPF (PAINTED)
NOTE: WINDOW OPERATION SHALL BE AS PER OWNERS DIRECTION AND CONFORM TO BCBC EGRESS REQUIREMENTS. CONTRACTOR TO VERIFY ALL R.O. PRIOR TO ORDERING WDW'S FLASH OVER ALL MATERIAL TRANSITIONS, DOOR AND WINDOW HEADERS ALL COLOURS AS PER OWNER	



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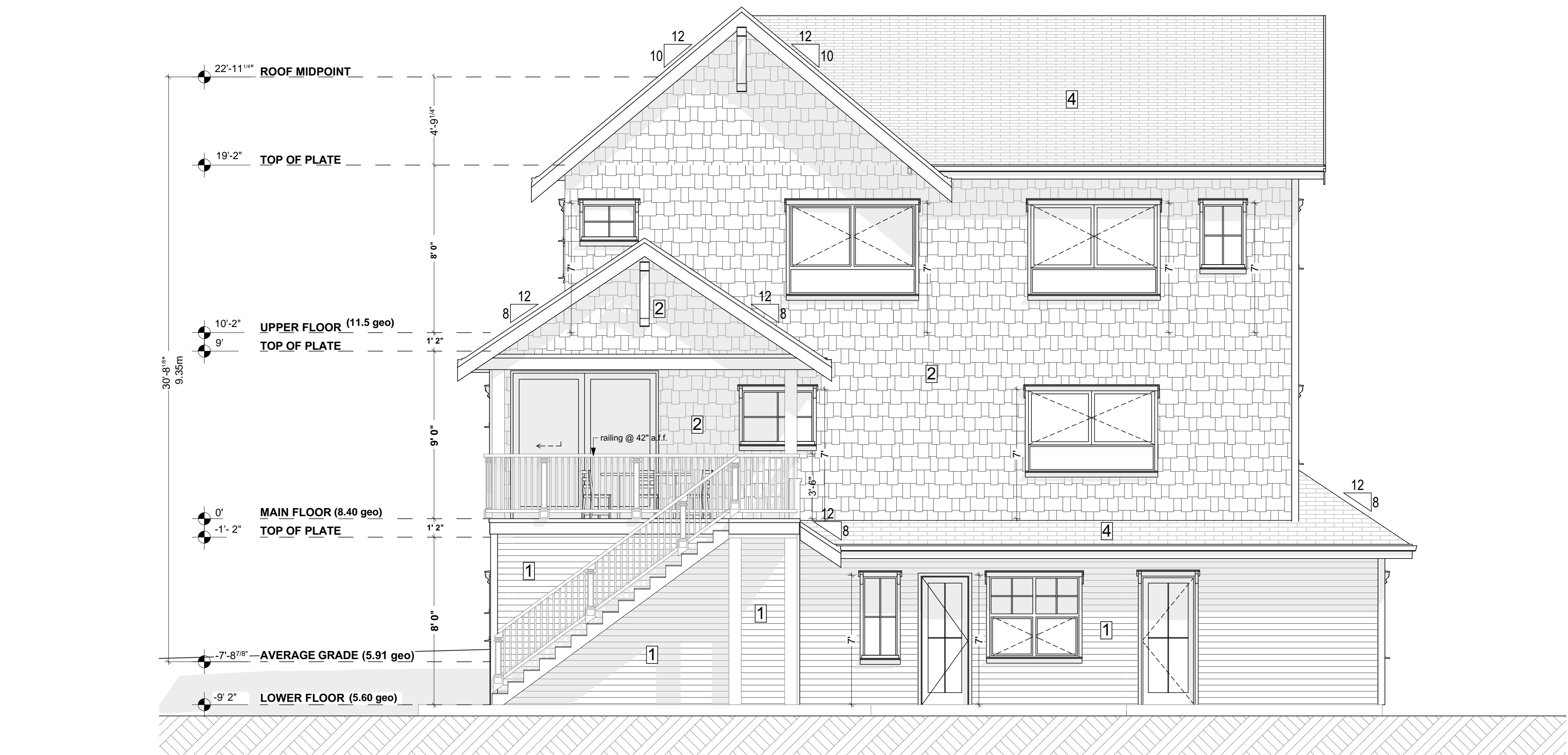
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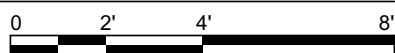
ELEVATIONS

A-201

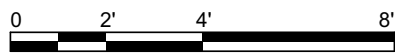
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3 REAR ELEVATION
SCALE: 1/4" = 1'-0"



4 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



SPATIAL SEPARATION BCB 9.10.15.4	
LIMITING DISTANCE	3.16m
EXPOSING BUILDING FACE	122.87m ²
ALLOWABLE OPENINGS	10%
PROPOSED AREA	7.01m ²
PROPOSED OPENINGS	5.7%

EXTERIOR CLADDING LEGEND	
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NOTE:
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CONFORM TO BCBC EGRESS REQUIREMENTS. CONTRACTOR TO VERIFY
ALL R.O. PRIOR TO ORDERING WDWYS

FLASH OVER ALL MATERIAL TRANSITIONS, DOOR AND WINDOW HEADERS

ALL COLOURS AS PER OWNER



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ELEVATIONS

A-202