

SITE DATA - 960 FOUL BAY ROAD	
LEGAL DESCRIPTION - LOT A (DD S14540), SECTION 23, VICTORIA DISTRICT, PLAN. 260	
ZONING - SITE SPECIFIC	
LOT AREA	PROPOSED 3322.52 M ² (35763.36 FT ²)
BLDG A (TOWNHOUSE)	PROPOSED
SETBACKS	
NORTH	6.00 M (19.68')
WEST	3.00 M (9.84')
EAST	6.13 M (20.11') (TO BLDG D)
SOUTH	12.48 M (40.94') (TO BLDG B)
FLOOR AREA	
1ST FLOOR	201.87 M ² (2172.96 FT ²)
GARAGES	223.42 M ² (2404.93 FT ²) (-22.00 M ² / unit excluded)
2ND FLOOR	404.43 M ² (4353.32 FT ²)
DECK	64.63 M ² (695.75 FT ²)
3RD FLOOR	435.49 M ² (4687.60 FT ²)
COVERED ENTRY(S)	13.76 M ² (148.12 FT ²)
TOTAL FLOOR AREA	762.20 M ² (8204.27 FT ²)
FLOOR AREA RATIO	0.40
AVG. GRADE	19.91 M (65.32')
ROOF HEIGHT	11.92 M (39.10')
BUILDING HEIGHT	8.92 M (29.26')
OCCUPIABLE HEIGHT	6.46 M (21.19')
SITE COVERAGE	14.11 % (468.93 M ² (5047.55 FT ²))
BLDG B (TOWNHOUSE)	PROPOSED
SETBACKS	
NORTH	12.48 M (40.94') (TO BLDG A)
WEST	3.00 M (9.84')
EAST	12.08 M (39.63') (TO BLDG C)
SOUTH	5.75 M (18.86')
FLOOR AREA	
1ST FLOOR	144.20 M ² (1552.23 FT ²)
GARAGES	159.92 M ² (1721.46 FT ²) (-22.00 M ² / unit excluded)
2ND FLOOR	289.35 M ² (3114.60 FT ²)
DECK	46.20 M ² (497.37 FT ²)
3RD FLOOR	311.01 M ² (3347.71 FT ²)
COVERED ENTRY(S)	9.64 M ² (103.86 FT ²)
TOTAL FLOOR AREA	850.26 M ² (9152.23 FT ²)
FLOOR AREA RATIO	0.289
AVG. GRADE	19.96 M (65.48')
ROOF HEIGHT	11.87 M (38.94')
BUILDING HEIGHT	8.87 M (29.10')
OCCUPIABLE HEIGHT	6.41 M (21.03')
SITE COVERAGE	10.09 % (335.49 M ² (3611.27 FT ²))
BLDG C (TOWNHOUSE)	PROPOSED
SETBACKS	
NORTH	3.80 M (12.46') (TO BLDG D)
WEST	12.08 M (39.63') (TO BLDG B)
EAST	6.00 M (19.68')
SOUTH	3.30 M (10.82')
FLOOR AREA	
1ST FLOOR	115.81 M ² (1248.63 FT ²)
GARAGES	127.48 M ² (1372.24 FT ²) (-22.00 M ² / unit excluded)
2ND FLOOR	230.89 M ² (2485.28 FT ²)
DECK	398.00 M ² (36.97 FT ²)
3RD FLOOR	249.85 M ² (2689.37 FT ²)
COVERED ENTRY(S)	8.07 M ² (86.92 FT ²)
TOTAL FLOOR AREA	647.47 M ² (6969.41 FT ²)
FLOOR AREA RATIO	0.22
AVG. GRADE	20.71 M (67.94')
ROOF HEIGHT	11.71 M (38.41')
BUILDING HEIGHT	8.71 M (28.57')
OCCUPIABLE HEIGHT	6.25 M (20.50')
SITE COVERAGE	8.06 % (267.84 M ² (2883.08 FT ²))
BLDG D (HERITAGE HOUSE)	PROPOSED
SETBACKS	
NORTH	6.00 M (19.68')
WEST	6.13 M (20.11') (TO BLDG A)
EAST	6.00 M (19.68')
SOUTH	3.80 M (12.46') (TO BLDG C)
FLOOR AREA	
BASEMENT	232.45 M ² (2502.09 FT ²) (excluded)
1ST FLOOR	218.64 M ² (2353.44 FT ²)
VERANDAH	13.12 M ² (141.27 FT ²)
2ND FLOOR	197.71 M ² (2128.22 FT ²)
DECK 1	18.52 M ² (199.38 FT ²)
3RD FLOOR	129.91 M ² (1398.43 FT ²)
DECK 2	9.51 M ² (102.42 FT ²)
TOTAL FLOOR AREA	587.44 M ² (6323.16 FT ²)
FLOOR AREA RATIO	0.246
AVG. GRADE	20.66 M (67.78')
ROOF HEIGHT	10.68 M (35.03')
BUILDING HEIGHT	10.27 M (33.69')
OCCUPIABLE HEIGHT	7.55 M (24.77')
SITE COVERAGE	7.12 % (236.62 M ² (2547.03 FT ²))
FLOOR AREA COMBINED	2847.39 M ² (30649.07 FT ²)
F.A.R. COMBINED	0.86
SITE COVERAGE COMBINED	39.39 % (1308.90 M ² (14088.93 FT ²))
CAR PARKING	
COVERED	23
UNCOVERED	15 (+2 GUEST)
TOTAL	40
BIKE PARKING	
INTERIOR	15
EXTERIOR	12 (4 GUEST)



DRAWING LIST:	
DP1	SITE PLAN & DATA
DP2	SURVEY
DP3	HOUSE - WINDOW SCHEDULE
DP4	HOUSE - ELEVATIONS (WINDOWS)
DP5	HOUSE - FLOOR PLANS
DP6	HOUSE - FLOOR PLANS
DP7	HOUSE - ELEVATIONS
DP8	HOUSE - ELEVATIONS
DP9	TOWNHOUSE A - FLOOR PLANS
DP10	TOWNHOUSE A - ELEVATIONS
DP11	TOWNHOUSE B - FLOOR PLANS
DP12	TOWNHOUSE B - ELEVATIONS
DP13	TOWNHOUSE C - FLOOR PLANS
DP14	TOWNHOUSE C - ELEVATIONS
DP15	STREETSCAPE

ISSUED FOR
Preliminary DP
2024.12.23

KILO
ARCHITECTURE
ZEBRADESIGN

1161 NEWPORT AVE
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Drawn By: c.c.

Scale: AS NOTED

Project:
960 FOUL BAY ROAD

Title:
SITE PLAN & DATA

Revision:

Sheet:
DP1
Proj.No. TBD

KEY	
REMOVED	✗
RELOCATED	➡
TO REMAIN	✓

EXISTING WINDOW SCHEDULE - BASEMENT									
WB-1 SIZE: 2'10 ²⁰ REMOVED	✗	WB-2 SIZE: 2'10 ²⁰ REMOVED	✗	WB-3 SIZE: 2'10 ¹⁶ REMOVED	✗	WB-4 SIZE: 2'10 ¹⁶ REMOVED	✗	WB-5 SIZE: 1'10 ³⁶ REMOVED	✗
WB-6 SIZE: 3'3 ³⁶ REMOVED	✗	WB-7 SIZE: 3'3 ³⁶ REMOVED	✗	WB-8 SIZE: 3'3 ³⁶ REMOVED	✗	WB-9 SIZE: 3'3 ³⁶ REMOVED	✗	WB-10 SIZE: 3'4 ⁴⁶ RELOCATED	➡
WB-11 SIZE: 2'6 ⁴⁰ REMOVED	✗	WB-12 SIZE: 2'6 ⁴⁰ REMOVED	✗	WB-13 SIZE: 2'6 ⁴⁰ REMOVED	✗	WB-14 SIZE: 3'3 ³⁶ REMOVED	✗		

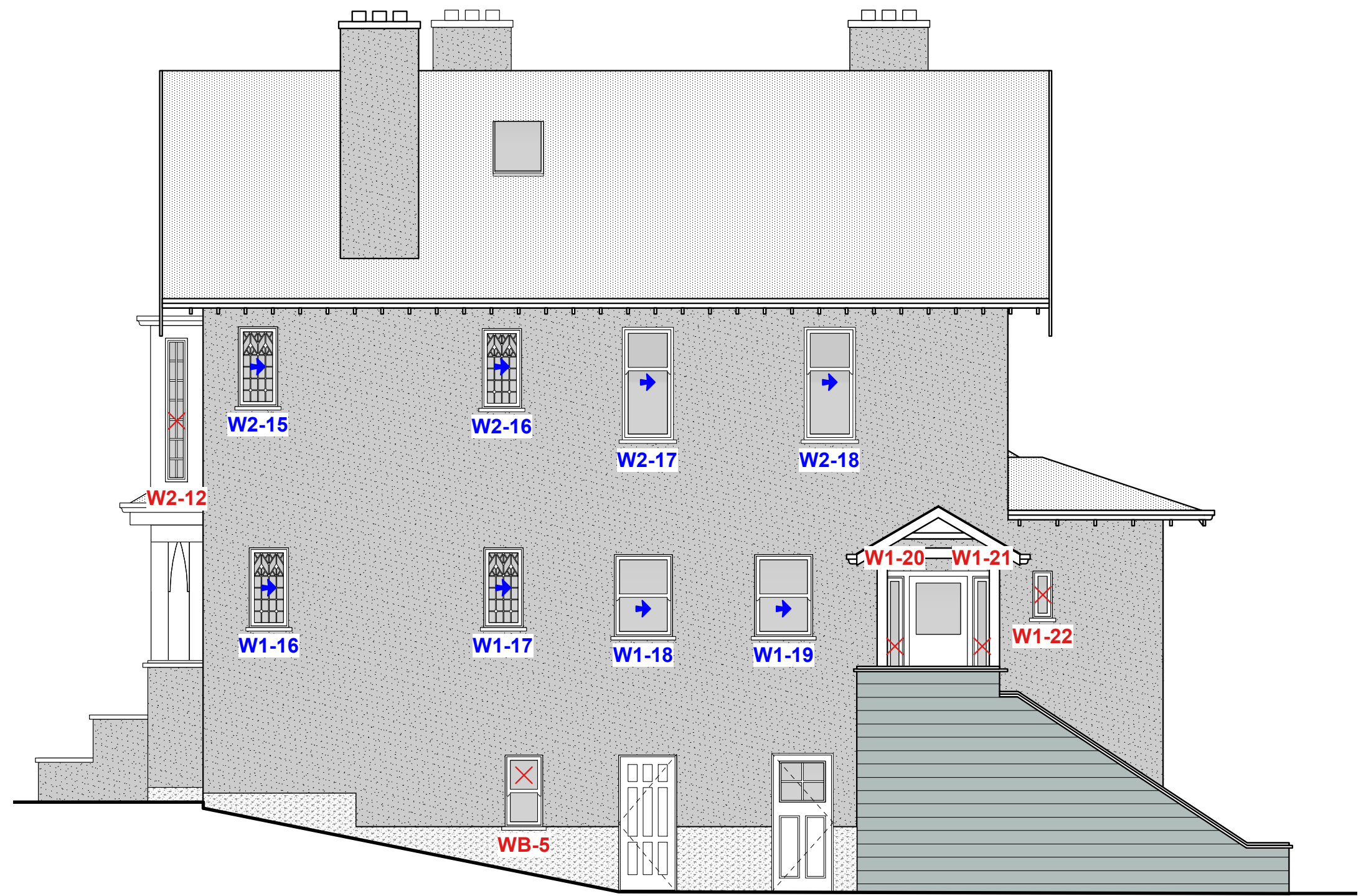
EXISTING WINDOW SCHEDULE - 1ST FLOOR									
W1-1 SIZE: 2'5"6" TO REMAIN	✓	W1-2 SIZE: 2'5"6" TO REMAIN	✓	W1-3 SIZE: 2'5"6" TO REMAIN	✓	W1-4 SIZE: 2'5"6" TO REMAIN	✓	W1-5 SIZE: 1'10"4" REMOVED	✗
	✗		✓		➡		➡		✓
W1-6 SIZE: 1'10"4" REMOVED		W1-7 SIZE: 1'10"4" TO REMAIN		W1-8 SIZE: 1'10"4" RELOCATED		W1-9 SIZE: 1'10"4" RELOCATED		W1-10 SIZE: 1'10"4" TO REMAIN	
	➡		➡		✓		✓		✓
W1-11 SIZE: 1'10"4" RELOCATED		W1-12 SIZE: 1'10"4" RELOCATED		W1-13 SIZE: 2'5"6" TO REMAIN		W1-14 SIZE: 2'5"6" TO REMAIN		W1-15 SIZE: 2'5"6" TO REMAIN	
	➡		➡		➡		➡		✗
W1-16 SIZE: 2'0"4" RELOCATED		W1-17 SIZE: 2'0"4" RELOCATED		W1-18 SIZE: 3'0"4" RELOCATED		W1-19 SIZE: 3'0"4" RELOCATED		W1-20 SIZE: 1'0"2" REMOVED	
	✗		✗		➡		➡		➡
W1-21 SIZE: 1'6"10" REMOVED		W1-22 SIZE: 1'6"10" REMOVED		W1-23 SIZE: 3'0"4" TO REMAIN		W1-24 SIZE: 3'0"4" RELOCATED		W1-25 SIZE: 3'0"4" RELOCATED	
	➡		➡		➡		➡		➡
W1-26 SIZE: 3'0"4" RELOCATED		W1-27 SIZE: 2'5"6" RELOCATED		W1-28 SIZE: 2'5"6" RELOCATED		W1-29 SIZE: 2'5"6" RELOCATED		W1-30 SIZE: 1'5"6" RELOCATED	
	✗		✓		✓		✓		✓
W1-31 SIZE: 4'6"1" REMOVED		W1-32 SIZE: 3'5"6" TO REMAIN		W1-33 SIZE: 3'5"6" TO REMAIN		W1-34 SIZE: 1'5"6" TO REMAIN		W1-35 SIZE: 1'5"6" TO REMAIN	
	✓		✓		✓			➡	➡
W1-36 SIZE: 3'5"6" TO REMAIN		W1-37 SIZE: 3'5"6" TO REMAIN		W1-38 SIZE: 1'5"6" TO REMAIN		W1-39 SIZE: 2'5"6" RELOCATED		W1-40 SIZE: 2'5"6" RELOCATED	
	✓		✓						
W1-41 SIZE: 2'5"6" TO REMAIN		W1-42 SIZE: 2'5"6" TO REMAIN							

EXISTING WINDOW SCHEDULE - 2ND FLOOR									
W2-1 SIZE: 2'5 ⁶ TO REMAIN	✓	W2-2 SIZE: 2'5 ⁶ TO REMAIN	✓	W2-3 SIZE: 4x2'4 ⁸ TO REMAIN	✓	W2-4 SIZE: 1'0 ⁷ REMOVED	✗	W2-5 SIZE: 1'0 ⁷ REMOVED	✗
W2-6 SIZE: 2'4 ⁶ REMOVED	✗	W2-7 SIZE: 2'4 ⁶ REMOVED	✗	W2-8 SIZE: 2'4 ⁶ REMOVED	✗	W2-9 SIZE: 2'4 ⁶ REMOVED	✗	W2-10 SIZE: 2'4 ⁶ REMOVED	✗
W2-11 SIZE: 1'0 ⁷ REMOVED	✗	W2-12 SIZE: 1'0 ⁷ REMOVED	✗	W2-13 SIZE: 2'5 ⁶ TO REMAIN	✓	W2-14 SIZE: 2'5 ⁶ TO REMAIN	✓	W2-15 SIZE: 2'4 ⁰ RELOCATED	➡
W2-16 SIZE: 2'4 ⁰ RELOCATED	➡	W2-17 SIZE: 2'5 ⁶ RELOCATED	➡	W2-18 SIZE: 2'5 ⁶ RELOCATED	➡	W2-19 SIZE: 2'5 ⁶ RELOCATED	➡	W2-20 SIZE: 3'4 ⁰ REMOVED	✗
W2-21 SIZE: 2'5 ⁶ RELOCATED	➡	W2-22 SIZE: 2'5 ⁶ RELOCATED	➡	W2-23 SIZE: 2'5 ⁶ RELOCATED	➡	W2-24 SIZE: 2'5 ⁶ RELOCATED	➡	W2-25 SIZE: 2'5 ⁶ RELOCATED	➡
W2-26 SIZE: 3'4 ⁰ REMOVED	✗	W2-27 SIZE: 2'5 ⁶ TO REMAIN	✓	W2-28 SIZE: 2'5 ⁶ TO REMAIN	✓				

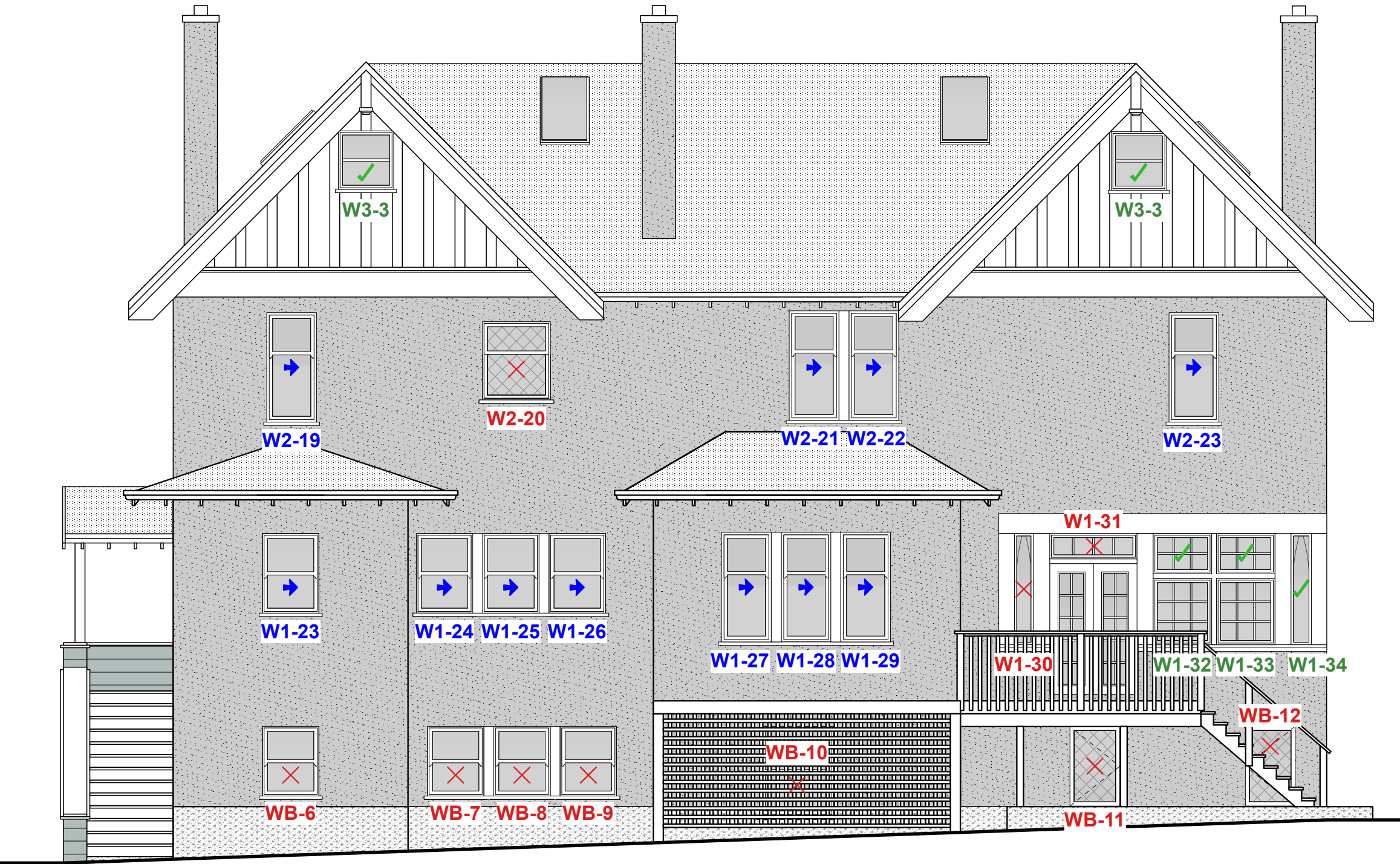
EXISTING WINDOW SCHEDULE - 3RD FLOOR			
W3-1	✓	W3-2	✓
SIZE: 3'0"4'0"		SIZE: 3'0"4'0"	
TO REMAIN		TO REMAIN	
W3-3	✓	W3-4	✓
SIZE: 2'10"3'0"		SIZE: 2'10"3'0"	
TO REMAIN		TO REMAIN	



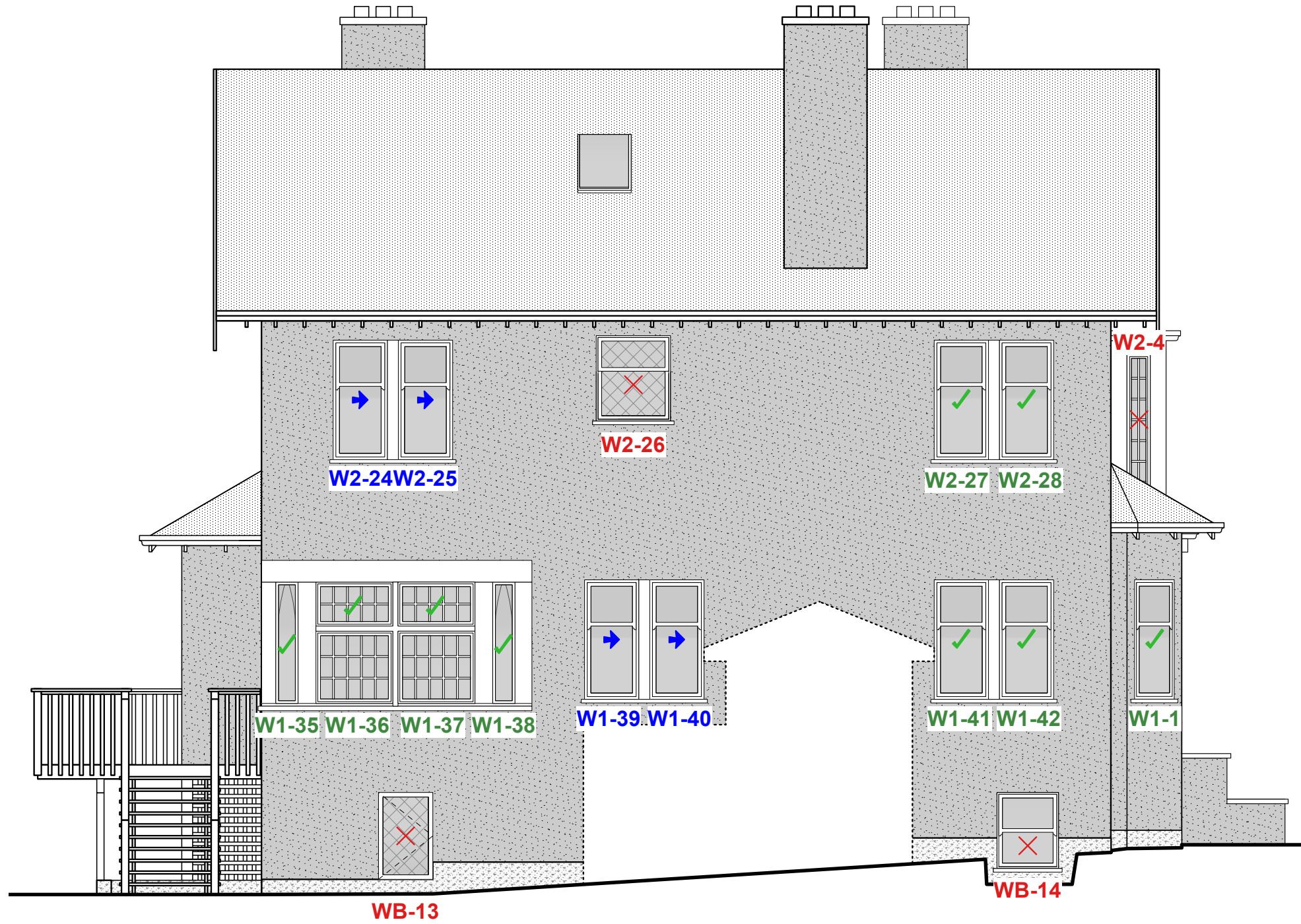
1 FRONT (E) ELEVATION - EXISTING
Scale: NTS



2 SIDE (N) ELEVATION - EXISTING
Scale: NTS



3 REAR (W) ELEVATION - EXISTING
Scale: NTS



4 SIDE (S) ELEVATION - EXISTING
Scale: NTS

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Scale: AS NOTED

Project:
960 FOUL BAY ROAD

Title:
HOUSE - ELEVATIONS
- WINDOWS

Revision:

Sheet:

DP4

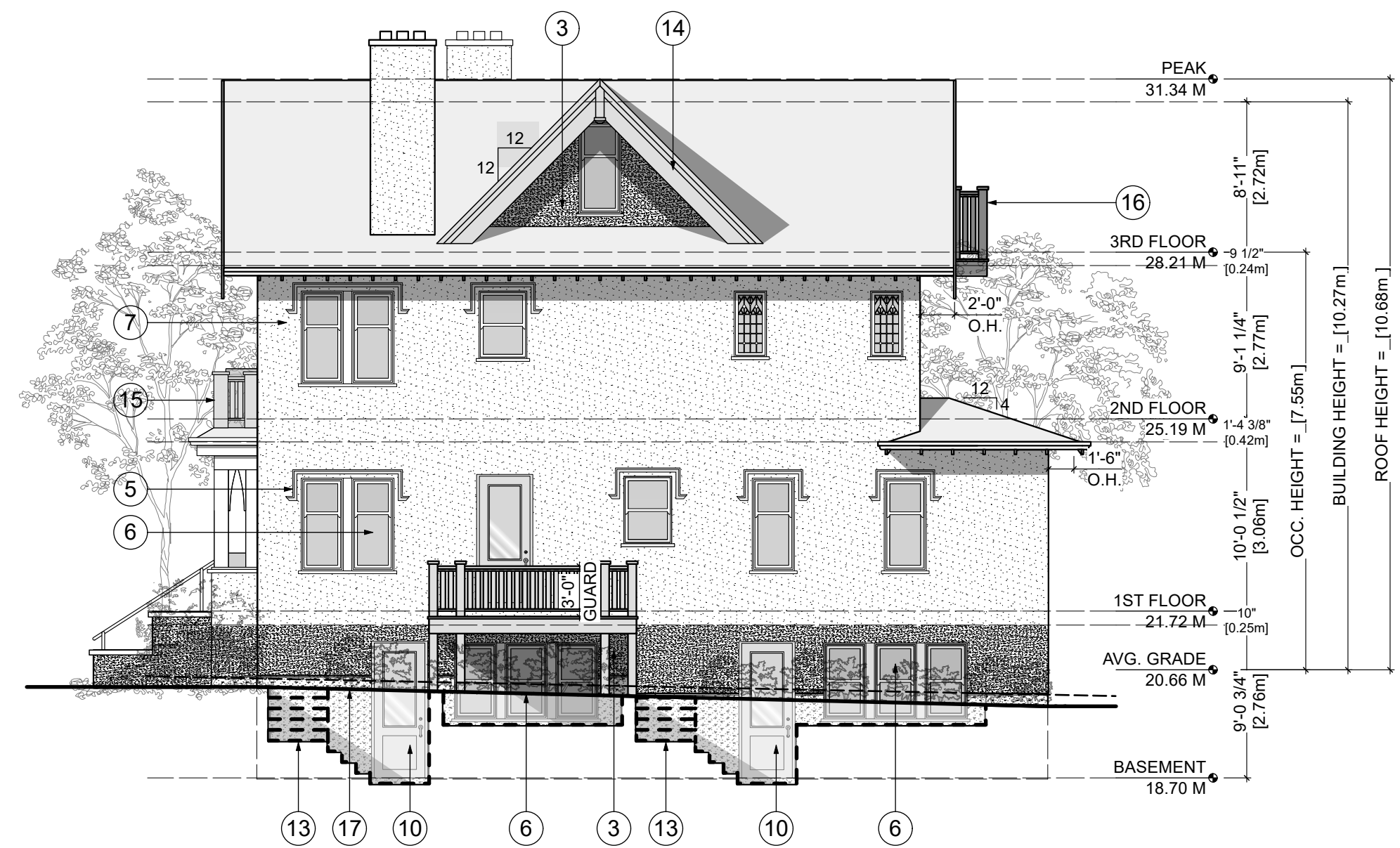
Proj.No. TBD

FINISH SCHEDULE KEY

- ① NEW ROOF SHINGLES TO MATCH EXISTING
- ② NEW SBS-MEMBRANE ROOFING
- ③ NEW STUCCO FINISH TO MATCH EXISTING
- ④ NEW BOARD & BATON TO MATCH ORIGINAL 1914 PLANS (PAINTED)
- ⑤ NEW WINDOW TRIM TO MATCH ORIGINAL 1914 PLANS (PAINTED)
- ⑥ NEW WINDOWS, STYLED TO MATCH ORIGINAL
- ⑦ EXISTING WINDOW TO BE REMOVED; PATCH AND MAKE GOOD EXISTING STUCCO
- ⑧ EXISTING WINDOWS & POSTS TO BE REPAIRED, RESTORED & MODIFIED AS SHOWN
- ⑨ EXISTING WINDOW TO REMAIN
- ⑩ NEW WOOD DOOR WITH GLAZING
- ⑪ EXISTING DOOR TO REMAIN
- ⑫ NEW STAIRS STYLED TO MATCH EXISTING
- ⑬ NEW CONCRETE STAIRS
- ⑭ NEW WOOD FASCIA, STYLED TO MATCH ORIGINAL
- ⑮ EXISTING GUARD TO BE REPAIRED AS RESTORED PER 1914 PLANS; C/W NEW TEMPERED OR LAMINATED SAFETY GLASS (HEIGHT AS NOTED)
- ⑯ NEW WOOD GUARD STYLED TO MATCH ORIGINAL (HEIGHT AS NOTED)
- ⑰ NEW EXPOSED CONCRETE (MIN 8" ABOVE GRADE)
- ⑱ NEW GUTTER & TRIM STYLED TO MATCH ORIGINAL



1 FRONT (E) ELEVATION - PROPOSED
Scale: 1/8" = 1'-0"



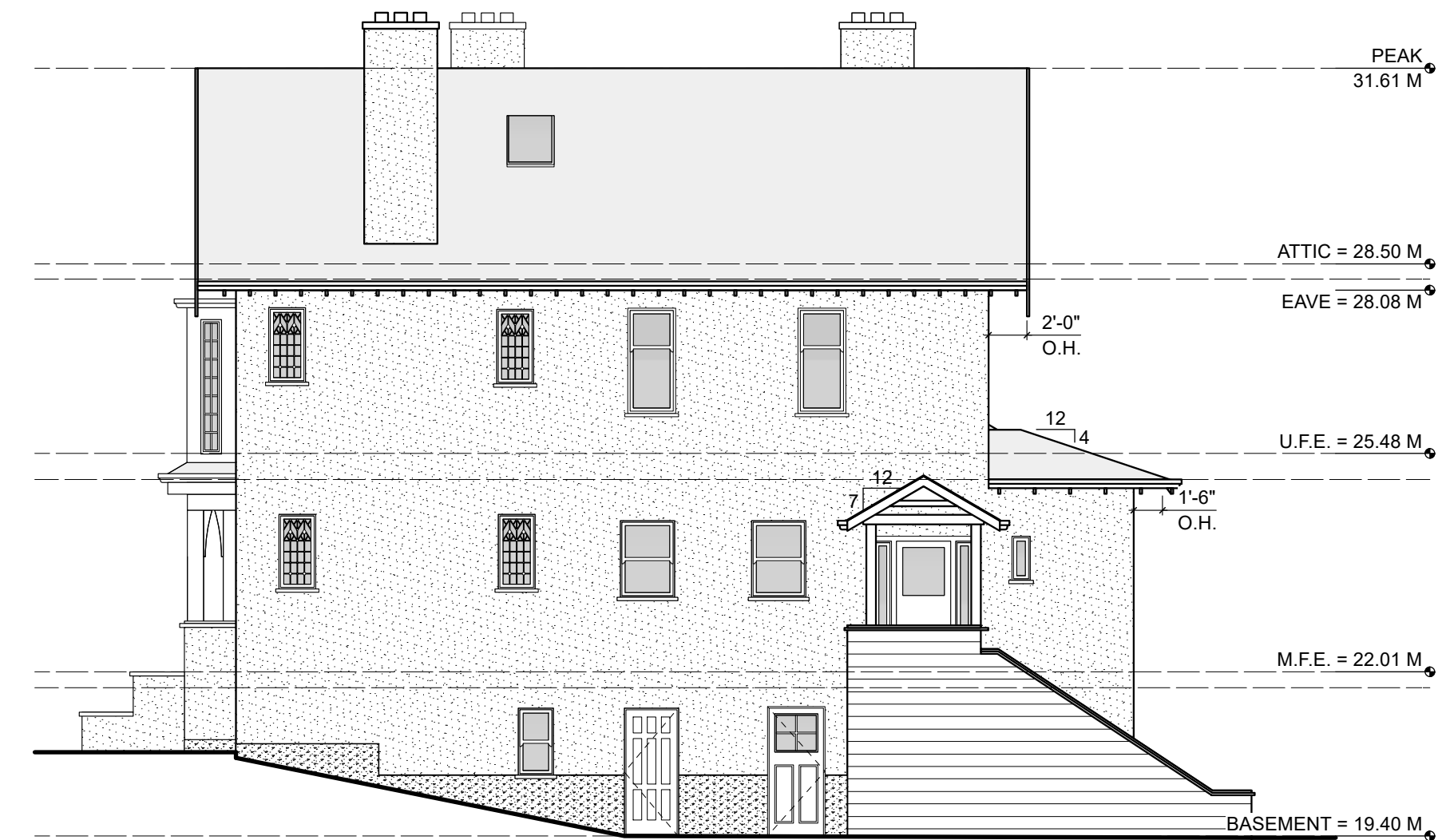
2 SIDE (N) ELEVATION - PROPOSED
Scale: 1/8" = 1'-0"

PROPOSED

EXISTING



3 FRONT (E) ELEVATION - EXISTING
Scale: 1/8" = 1'-0"



4 SIDE (E) ELEVATION - EXISTING
Scale: 1/8" = 1'-0"

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Scale: AS NOTED

Project:
960 FOUL BAY ROAD

Title:
HOUSE - ELEVATIONS

Revision:

Sheet:

DP7

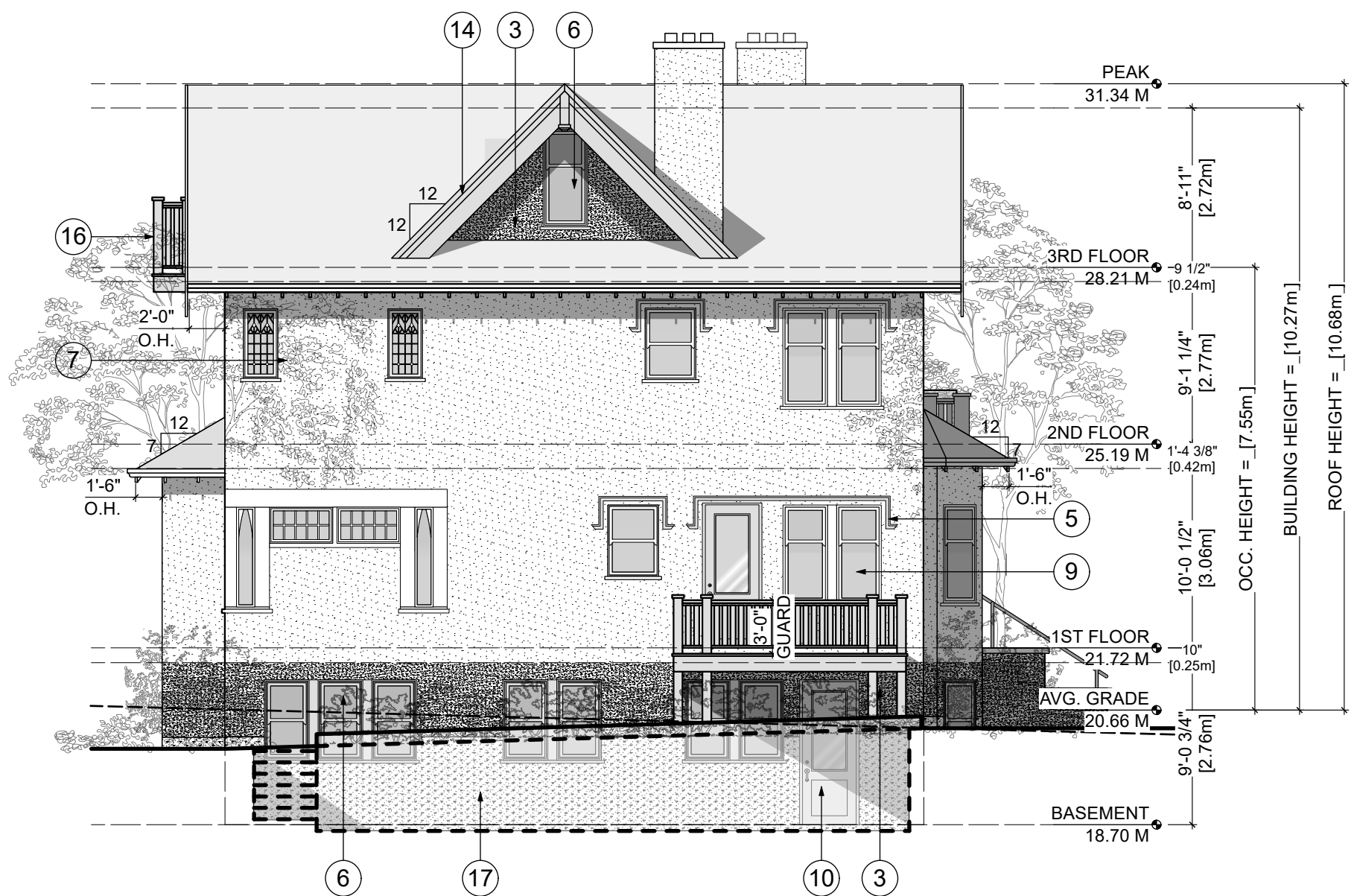
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FINISH SCHEDULE KEY

- ① NEW ROOF SHINGLES TO MATCH EXISTING
- ② NEW SBS-MEMBRANE ROOFING
- ③ NEW STUCCO FINISH TO MATCH EXISTING
- ④ NEW BOARD & BATON TO MATCH ORIGINAL 1914 PLANS (PAINTED)
- ⑤ NEW WINDOW TRIM TO MATCH ORIGINAL 1914 PLANS (PAINTED)
- ⑥ NEW WINDOWS, STYLED TO MATCH ORIGINAL
- ⑦ EXISTING WINDOW TO BE REMOVED; PATCH AND MAKE GOOD EXISTING STUCCO
- ⑧ EXISTING WINDOWS & POSTS TO BE REPAIRED, RESTORED & MODIFIED AS SHOWN
- ⑨ EXISTING WINDOW TO REMAIN
- ⑩ NEW WOOD DOOR WITH GLAZING
- ⑪ EXISTING DOOR TO REMAIN
- ⑫ NEW STAIRS STYLED TO MATCH EXISTING
- ⑬ NEW CONCRETE STAIRS
- ⑭ NEW WOOD FASCIA, STYLED TO MATCH ORIGINAL
- ⑮ EXISTING GUARD TO BE REPAIRED AS RESTORED PER 1914 PLANS; C/W NEW TEMPERED OR LAMINATED SAFETY GLASS (HEIGHT AS NOTED)
- ⑯ NEW WOOD GUARD STYLED TO MATCH ORIGINAL (HEIGHT AS NOTED)
- ⑰ NEW EXPOSED CONCRETE (MIN 8" ABOVE GRADE)
- ⑱ NEW GUTTER & TRIM STYLED TO MATCH ORIGINAL



1 REAR (W) ELEVATION - PROPOSED
Scale: 1/8" = 1'-0"



2 SIDE (S) ELEVATION - PROPOSED
Scale: 1/8" = 1'-0"

PROPOSED

EXISTING



3 REAR (W) ELEVATION - EXISTING
Scale: 1/8" = 1'-0"



4 SIDE (S) ELEVATION - EXISTING
Scale: 1/8" = 1'-0"

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Scale: AS NOTED

Project:
960 FOUL BAY ROAD

Title:
HOUSE - ELEVATIONS

Revision:

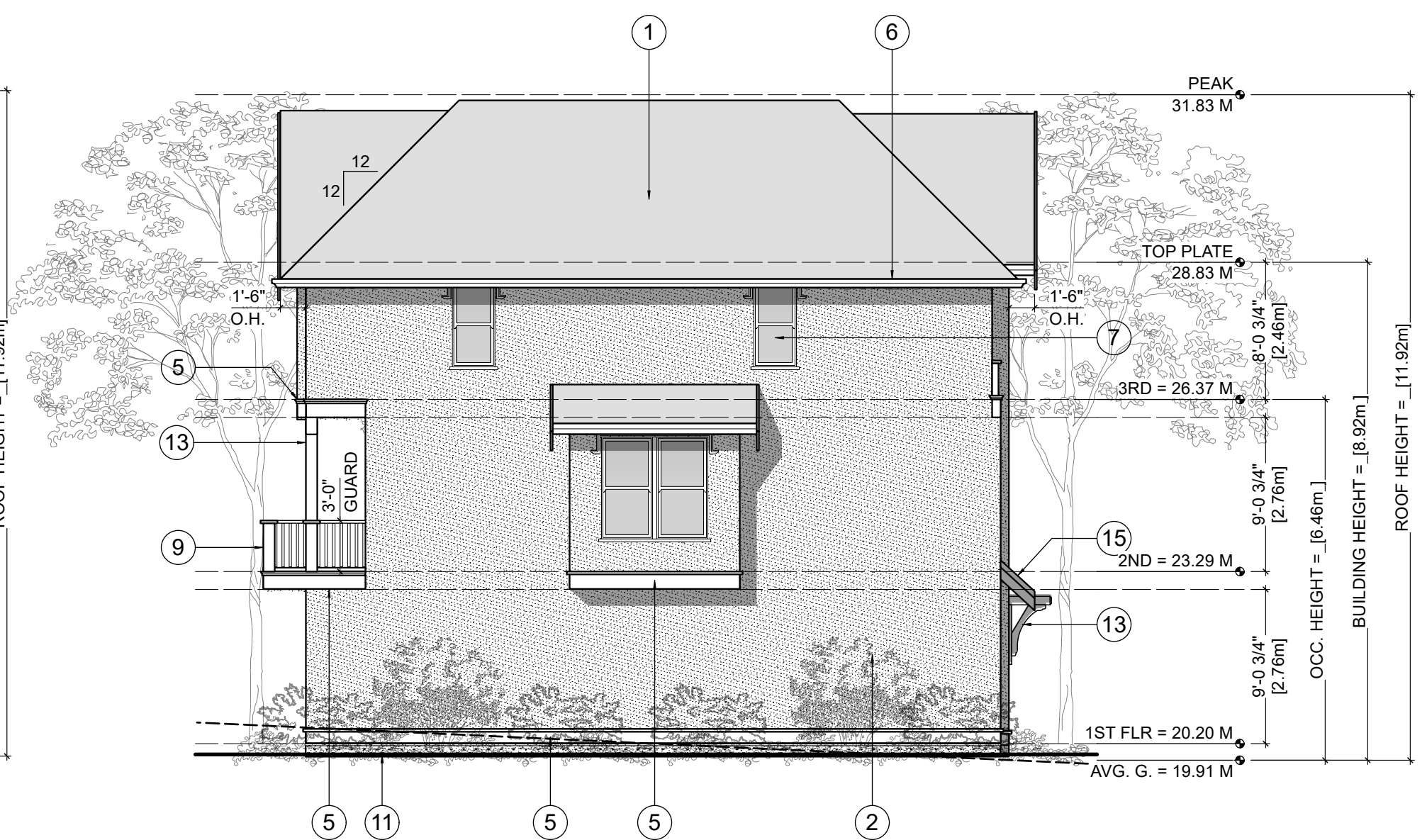
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Proj.No. TBD



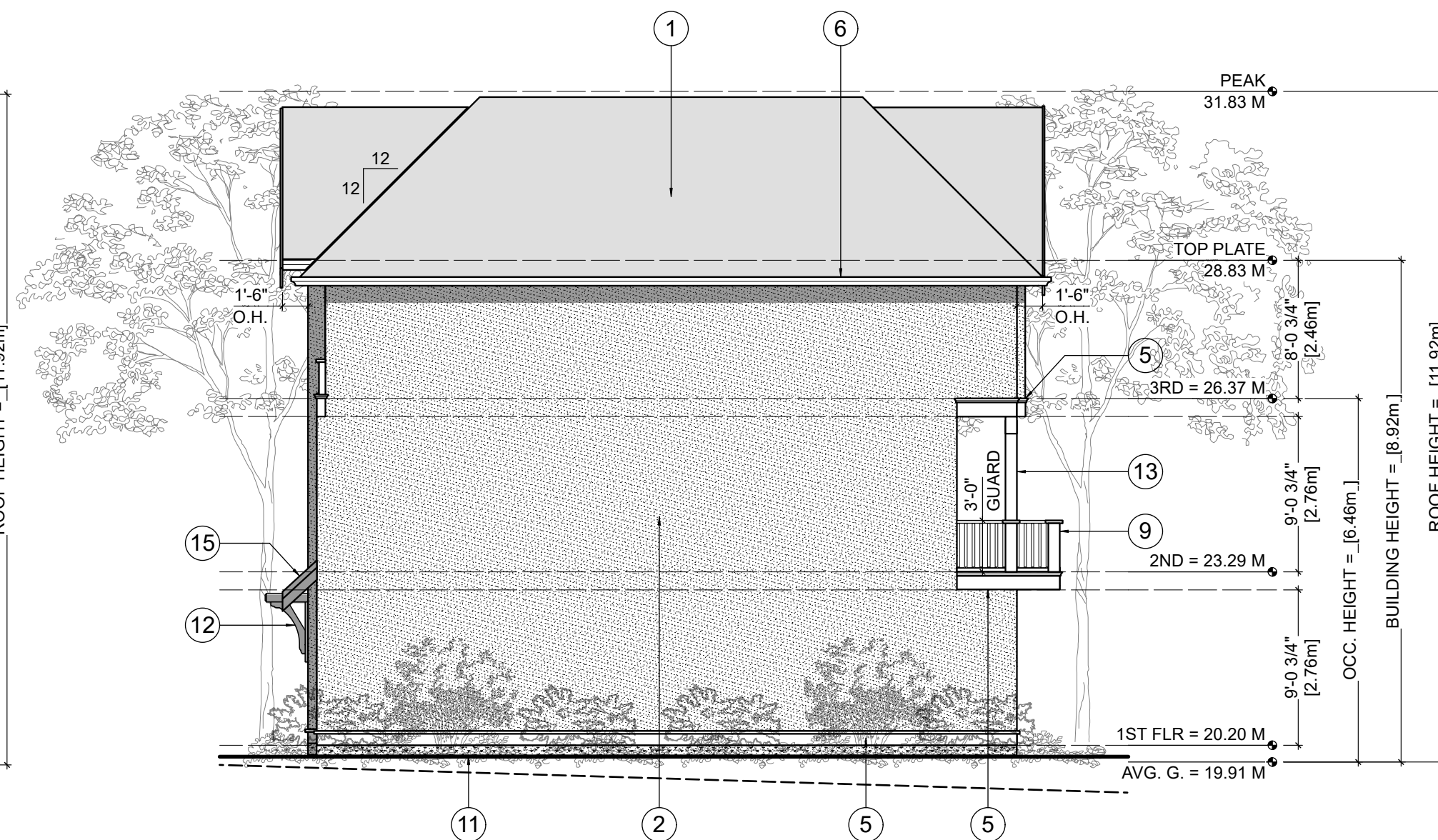
1 FRONT (N) ELEVATION
Scale: 1/8" = 1'-0"



2 SIDE (E) ELEVATION
Scale: 1/8" = 1'-0"



3 REAR (S) ELEVATION
Scale: 1/8" = 1'-0"



4 SIDE (W) ELEVATION
Scale: 1/8" = 1'-0"

FINISH SCHEDULE KEY

- | | |
|---|---|
| 1 ASPHALT/FIBERGLASS SHINGLE ROOFING | 11 EXPOSED CONCRETE (MIN 8" ABOVE GRADE) |
| 2 STUCCO FINISH (PAINTED) | 12 WOOD BRACKETS (PAINTED), DECORATIVE |
| 3 NEW CEMENT BOARD PANELS (PAINTED)
C/W 1X6 BATONS (PAINTED)
STYLED TO MATCH EXISTING HOUSE | 13 WOOD POSTS (PAINTED) |
| 4 2X GABLE END BAND TO MATCH EXISTING HOUSE
C/W CANTED WATERLINE
FLASH OVER | 14 16" WOOD FASCIA (PAINTED)
C/W ACCENTS AND FINIAL TO MATCH EXISTING
HOUSE |
| 5 2X12 BAND (PAINTED)
C/W ACCENT TRIM (PAINTED) | 15 2X10 FASCIA (PAINTED)
C/W ACCENT TRIM (PAINTED) |
| 6 PREFIN. METAL GUTTER ON
2X6 FASCIA (PAINTED) | |
| 7 WINDOW/DOOR
C/W TRIM DETAIL (SEE 1914 MACLURE PLANS)
FLASH OVER ALL DOOR/WINDOWS (TYP.) | |
| 8 GARAGE DOOR, PREFINISHED | |
| 9 WOOD GUARD RAIL (PAINTED)
HEIGHT AS NOTED | |
| 10 CONCRETE PATIO | |

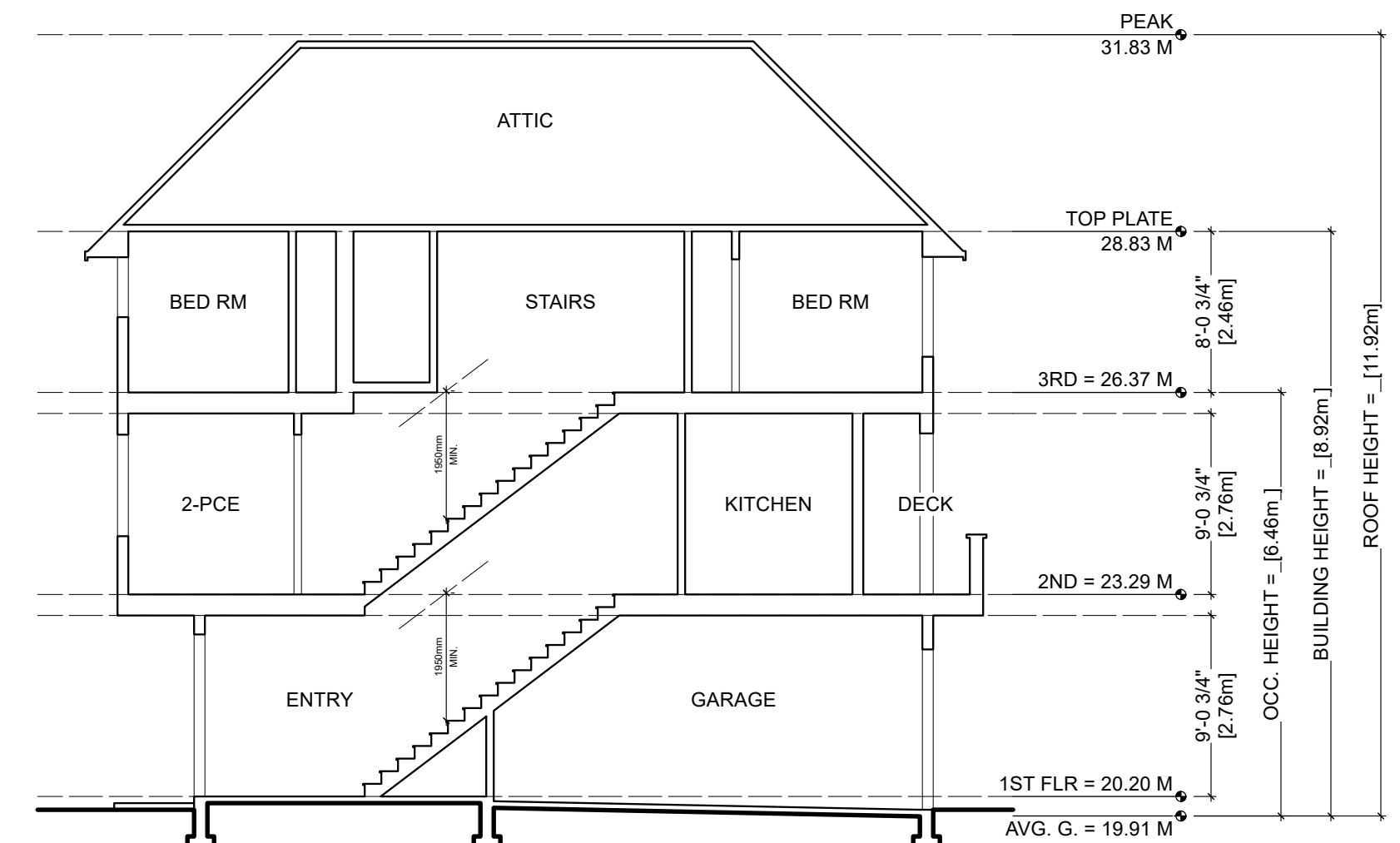
NOTES:

WINDOW OPERATION (I.E. DIRECTION OF SWING) SHALL
BE PER OWNER'S DIRECTION AND CONFORM TO B.C.B.C.
2018 REQUIREMENTS FOR EGRESS.

FLASH OVER ALL MATERIAL TRANSITIONS, DOOR &
WINDOW HEADS

NO COMBED-FACE TRIM

ALL COLOURS BY DESIGNER/OWNER



5 SECTION
Scale: 1/8" = 1'-0"

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Scale: AS NOTED

Project:
960 FOUL BAY ROAD

Title:
TOWNHOUSE A -
ELEVATIONS

Revision:

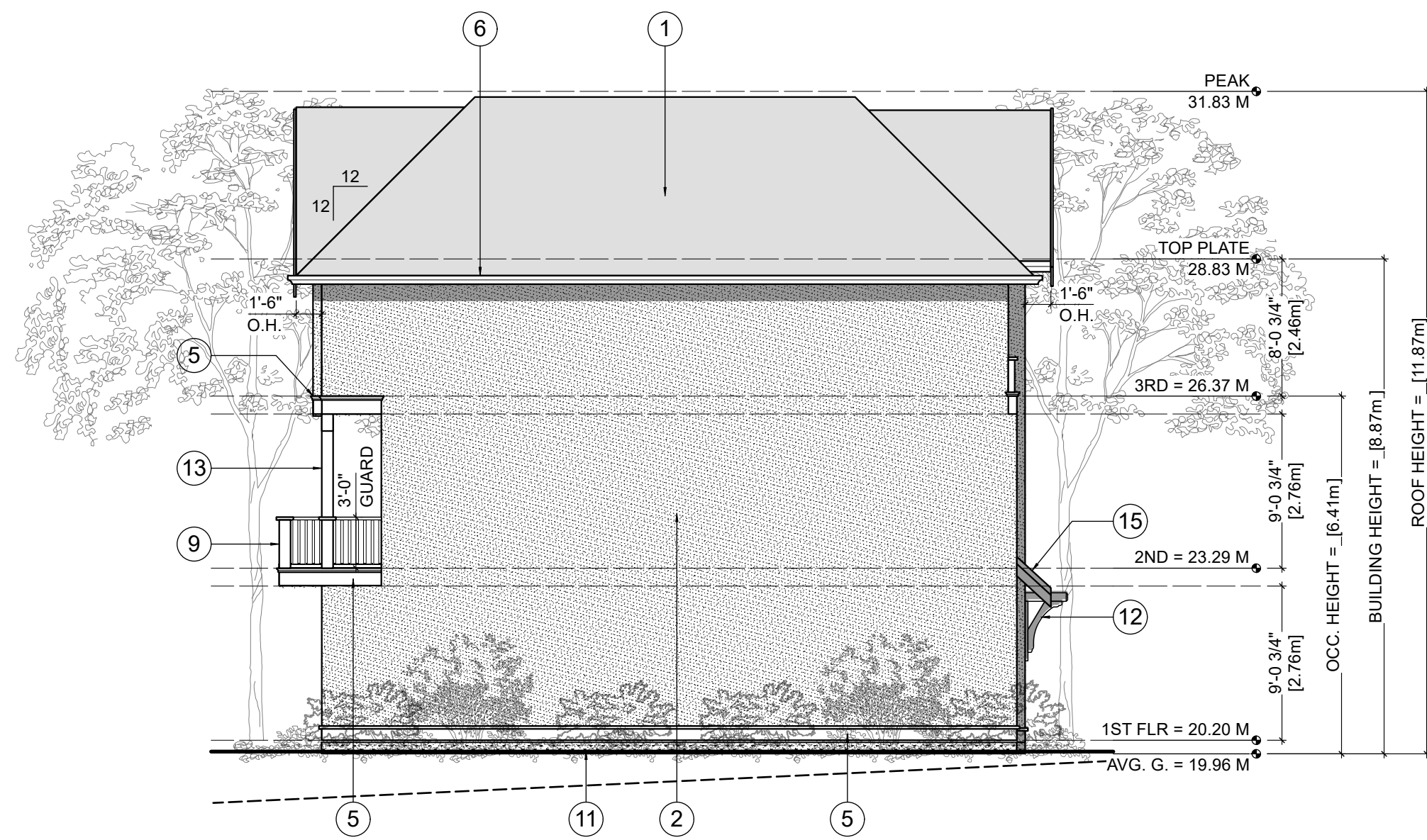
Sheet:

DP10

Proj.No. TBD



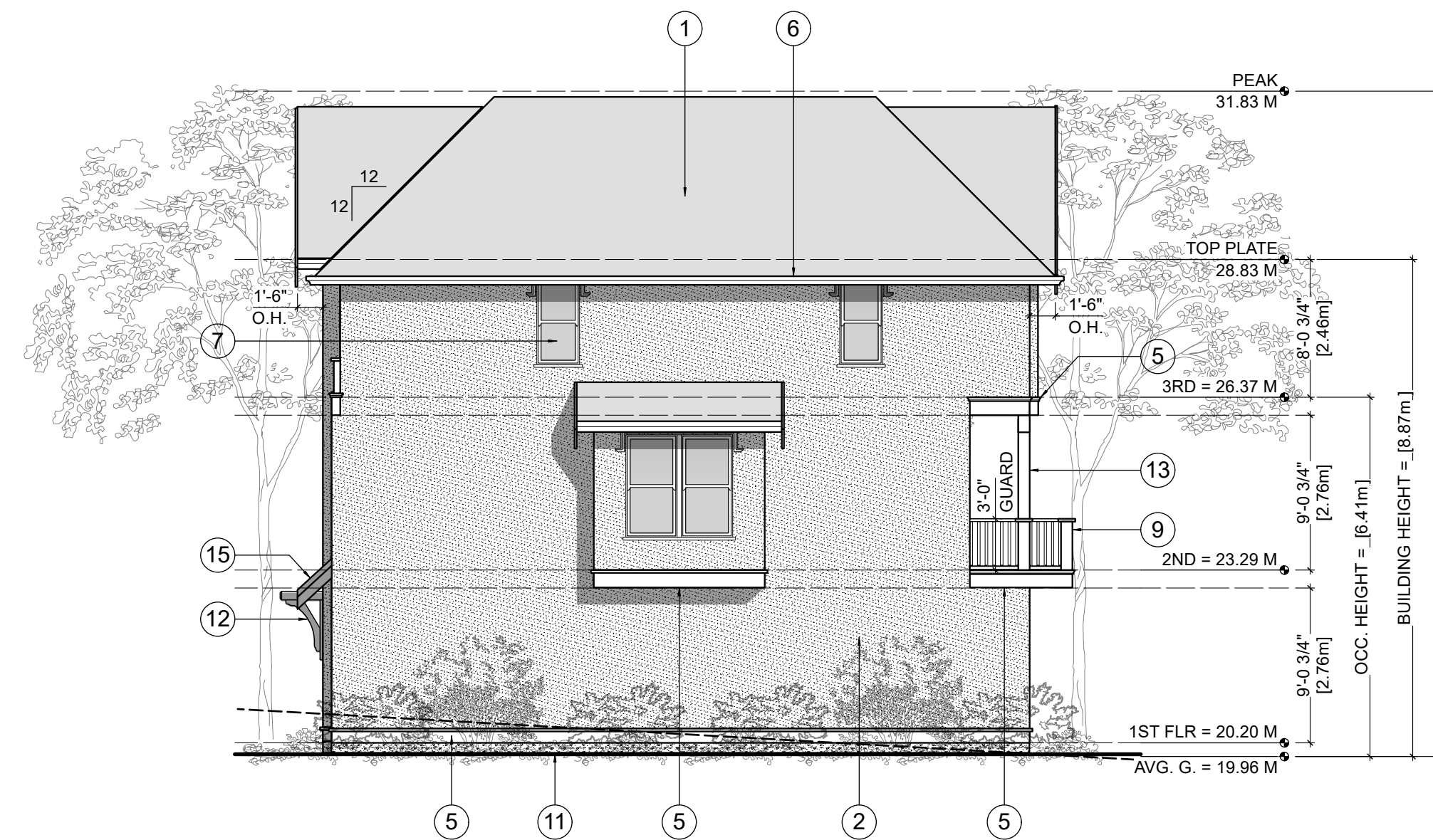
1 FRONT (S) ELEVATION
Scale: 1/8" = 1'-0"



2 SIDE (W) ELEVATION
Scale: 1/8" = 1'-0"



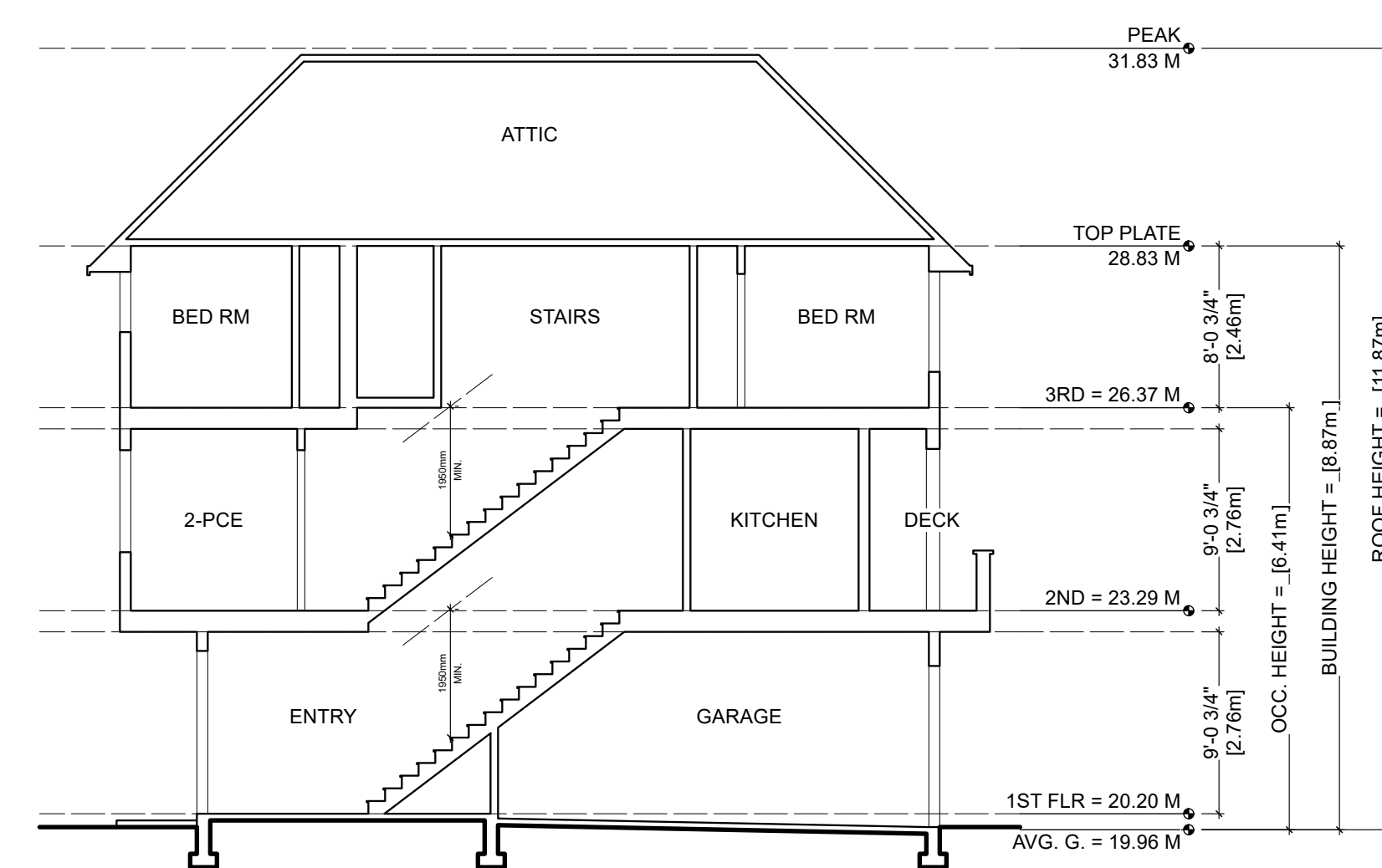
3 REAR (N) ELEVATION
Scale: 1/8" = 1'-0"



4 SIDE (E) ELEVATION
Scale: 1/8" = 1'-0"

FINISH SCHEDULE KEY	
1 ASPHALT/FIBERGLASS SHINGLE ROOFING	11 EXPOSED CONCRETE (MIN 8" ABOVE GRADE)
2 STUCCO FINISH (PAINTED)	12 WOOD BRACKETS (PAINTED), DECORATIVE
3 NEW CEMENT BOARD PANELS (PAINTED) C/W 1X6 BATONS (PAINTED) STYLED TO MATCH EXISTING HOUSE	13 WOOD POSTS (PAINTED)
4 2X GABLE END BAND TO MATCH EXISTING HOUSE C/W CANTED WATERLINE FLASH OVER	14 16" WOOD FASCIA (PAINTED) C/W ACCENTS AND FINIAL TO MATCH EXISTING HOUSE
5 2X12 BAND (PAINTED) C/W ACCENT TRIM (PAINTED)	15 2X10 FASCIA (PAINTED) C/W ACCENT TRIM (PAINTED)
6 PREFIN. METAL GUTTER ON 2X6 FASCIA (PAINTED)	NOTES: WINDOW OPERATION (I.E. DIRECTION OF SWING) SHALL BE PER OWNER'S DIRECTION AND CONFORM TO B.C.B.C. 2018 REQUIREMENTS FOR EGRESS. FLASH OVER ALL MATERIAL TRANSITIONS, DOOR & WINDOW HEADS NO COMBED-FACE TRIM
7 WINDOW/DOOR C/W TRIM DETAIL (SEE 1914 MACLURE PLANS) FLASH OVER ALL DOOR/WINDOWS (TYP.)	
8 GARAGE DOOR, PREFINISHED	
9 WOOD GUARD RAIL (PAINTED) HEIGHT AS NOTED	
10 CONCRETE PATIO	

ALL COLOURS BY DESIGNER/OWNER



5 SECTION
Scale: 1/8" = 1'-0"

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Drawn By: c.c.

Scale: AS NOTED

Project:
960 FOUL BAY ROAD

Title:
TOWNHOUSE B -
ELEVATIONS

Revision:

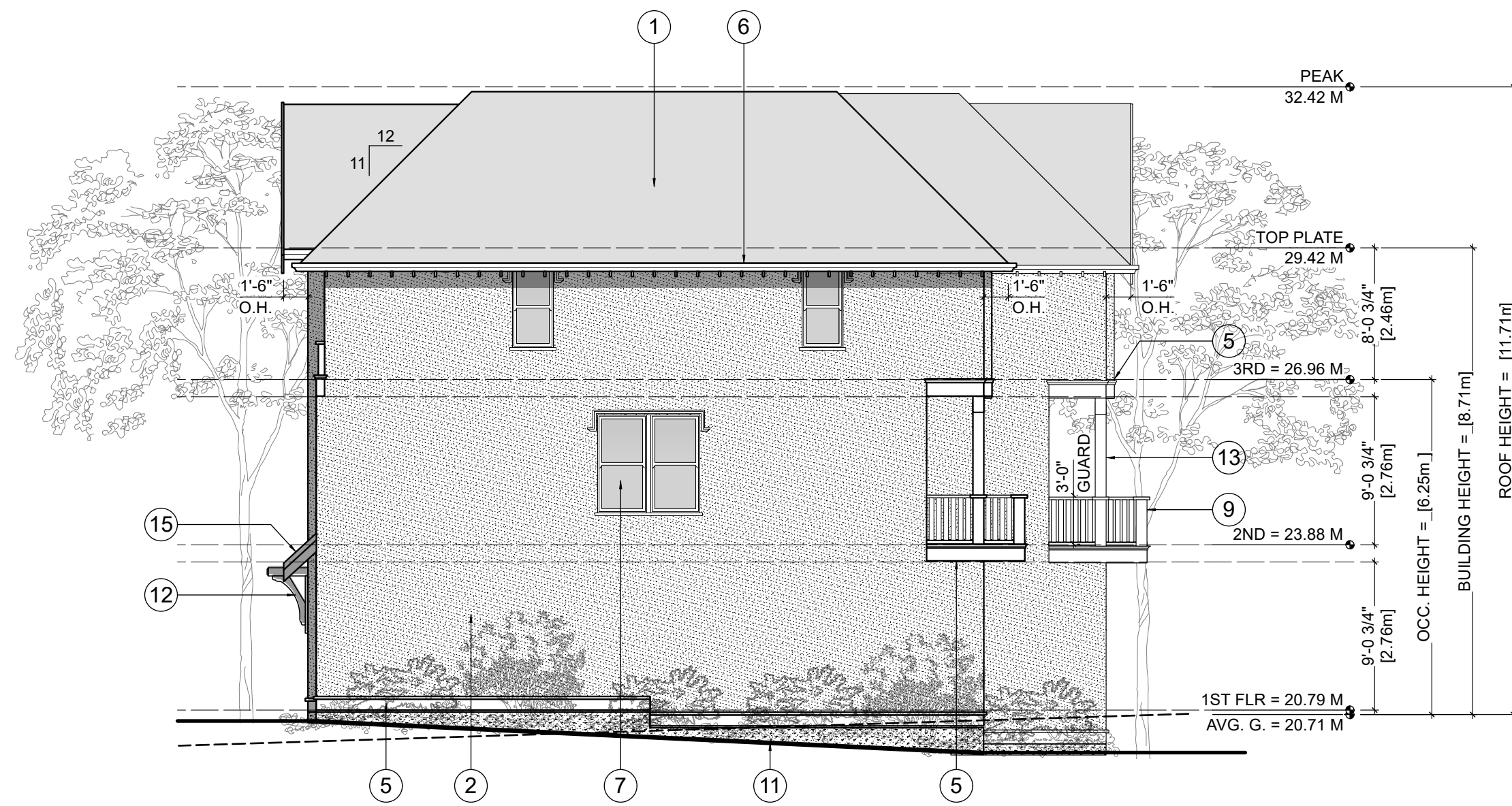
Sheet:

DP12

Proj.No. TBD



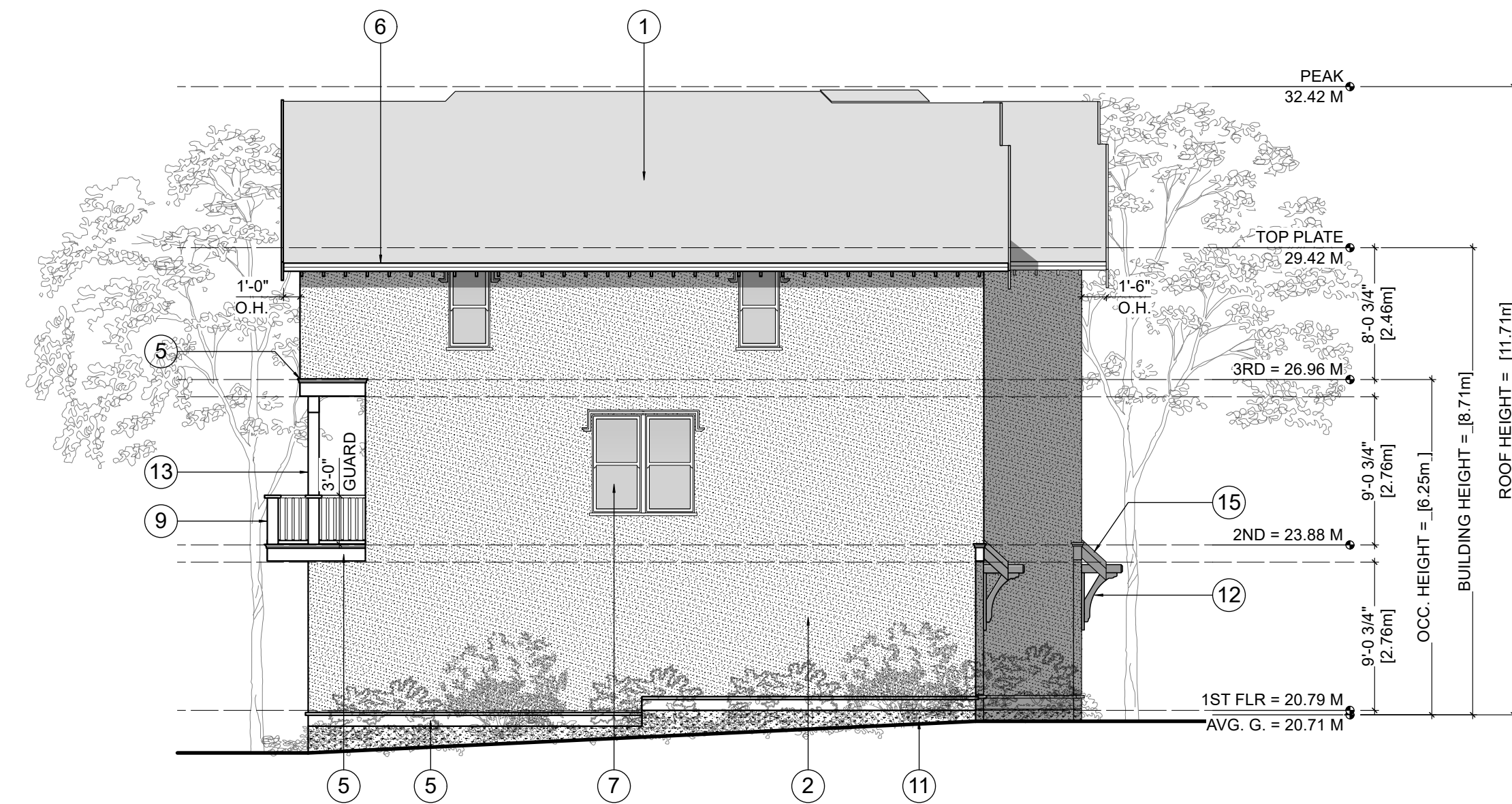
1 FRONT (E) ELEVATION
Scale: 1/8" = 1'-0"



2 SIDE (N) ELEVATION
Scale: 1/8" = 1'-0"



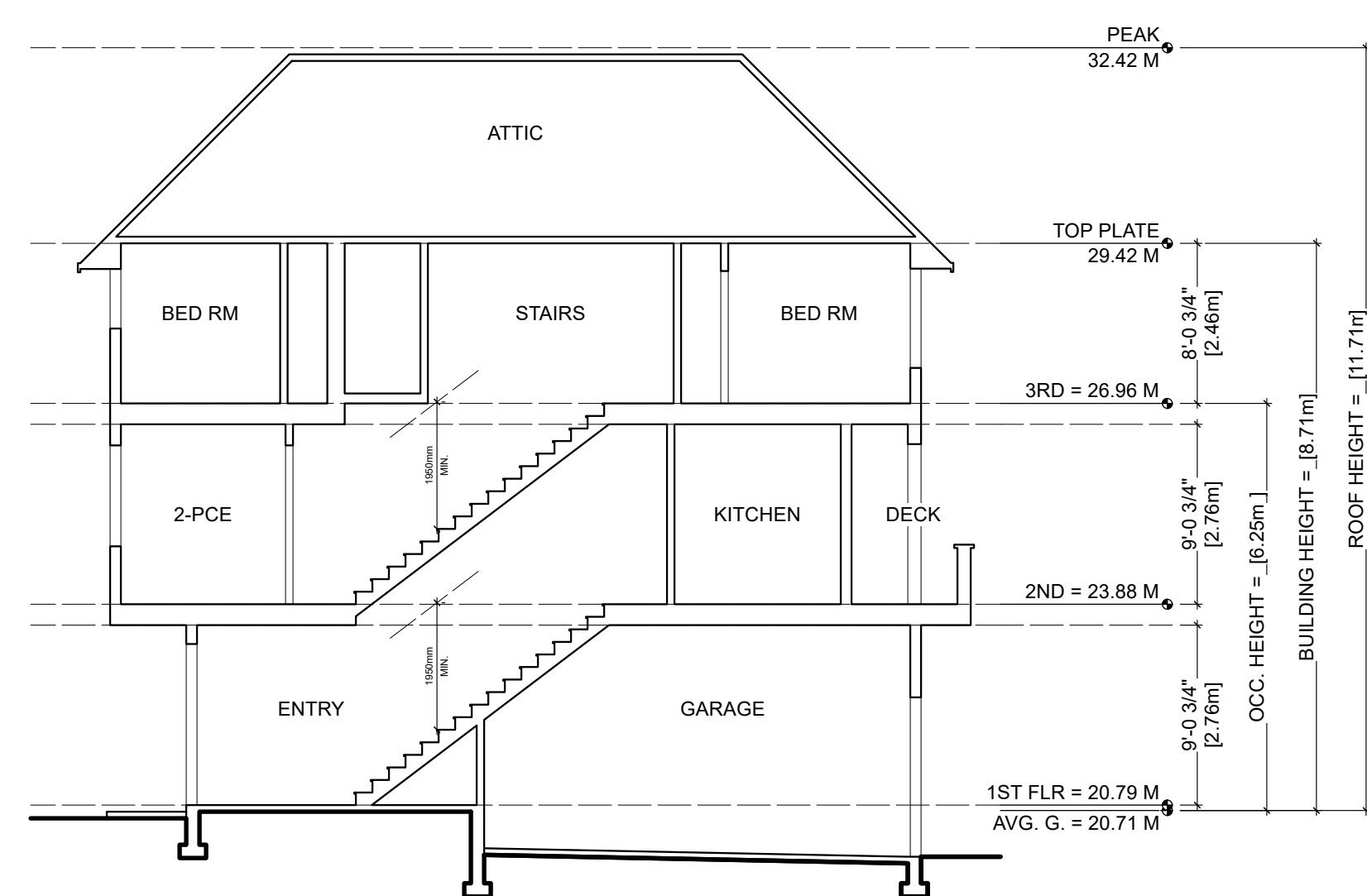
3 REAR (W) ELEVATION
Scale: 1/8" = 1'-0"



4 SIDE (S) ELEVATION
Scale: 1/8" = 1'-0"

FINISH SCHEDULE KEY	
1 ASPHALT/FIBERGLASS SHINGLE ROOFING	11 EXPOSED CONCRETE (MIN 8" ABOVE GRADE)
2 STUCCO FINISH (PAINTED)	12 WOOD BRACKETS (PAINTED), DECORATIVE
3 NEW CEMENT BOARD PANELS (PAINTED) C/W 1X6 BATONS (PAINTED) STYLED TO MATCH EXISTING HOUSE	13 WOOD POSTS (PAINTED)
4 2X GABLE END BAND TO MATCH EXISTING HOUSE C/W CANTED WATERLINE FLASH OVER	14 16" WOOD FASCIA (PAINTED) C/W ACCENTS AND FINIAL TO MATCH EXISTING HOUSE
5 2X12 BAND (PAINTED) C/W ACCENT TRIM (PAINTED)	15 2X10 FASCIA (PAINTED) C/W ACCENT TRIM (PAINTED)
6 PREFIN. METAL GUTTER ON 2X6 FASCIA (PAINTED)	
7 WINDOW/DOOR C/W TRIM DETAIL (SEE 1914 MACLURE PLANS) FLASH OVER ALL DOOR/WINDOWS (TYP.)	NOTES:
8 GARAGE DOOR, PREFINISHED	WINDOW OPERATION (I.E. DIRECTION OF SWING) SHALL BE PER OWNER'S DIRECTION AND CONFORM TO B.C.B.C. 2018 REQUIREMENTS FOR EGRESS.
9 WOOD GUARD RAIL (PAINTED) HEIGHT AS NOTED	FLASH OVER ALL MATERIAL TRANSITIONS, DOOR & WINDOW HEADS
10 CONCRETE PATIO	NO COMBED-FACE TRIM

ALL COLOURS BY DESIGNER/OWNER



5 SECTION
Scale: 1/8" = 1'-0"

ISSUED FOR
Preliminary DP
2024.12.23

KILO
ARCHITECTURE
ZEBRADESIGN

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Drawn By: c.c.

Scale: AS NOTED

Project:
960 FOUL BAY ROAD

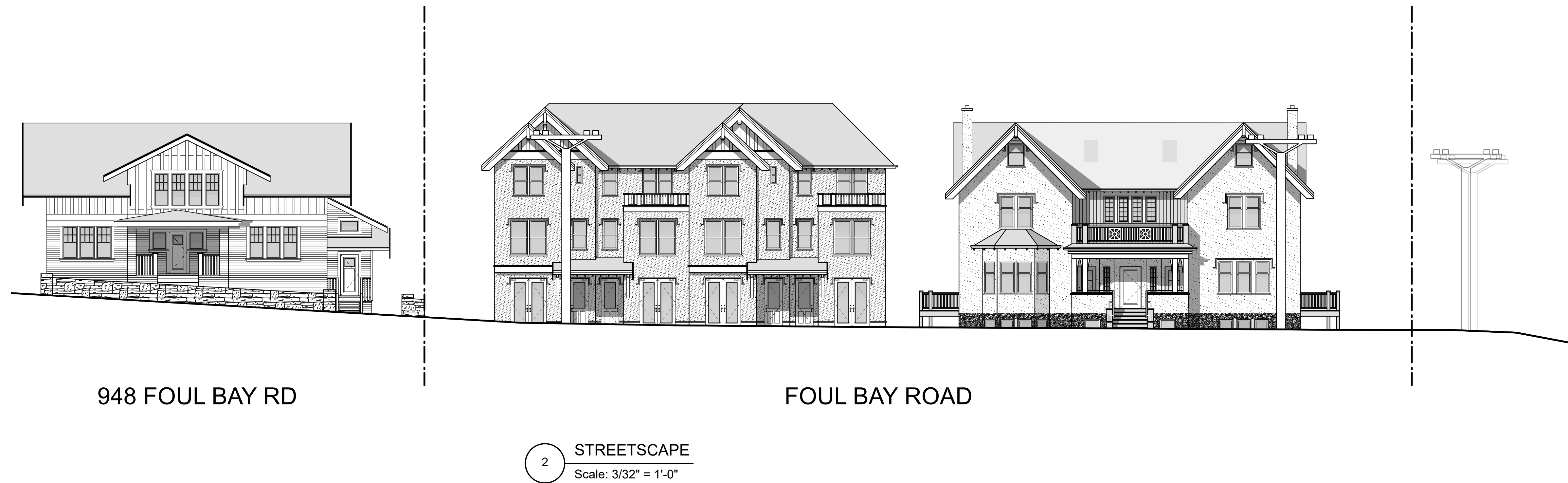
Title:
TOWNHOUSE C -
ELEVATIONS

Revision:

Sheet:

DP14

Proj.No. TBD



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2024.12.23

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Scale: AS NOTED

Project:
960 FOUL BAY ROAD

Title:
STREETScape

Revision:	Sheet:
	DP15
	Proj.No. TBD